



MODERNISING
WINCHESTER
VISIONS OF UTOPIA

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UP2068014

Utopia is a Greek term meaning “No Place”, with Eutopia meaning “Good Place”. Utopia refers to an imaginary community/society providing near-perfect qualities within, for its members. Utopias also embody equality in many ways, including its economy, government and justice system

CROSS CULTURAL UTOPIAS:

THE GARDEN OF EDEN - CHRISTIANITY: DESCRIBED AS THE SOURCE OF 4 TRIBUTARIES. SUGGESTED REAL-WORLD LOCATIONS ARE THOUGHT TO BE AT THE HEAD OF THE PERSIAN GULF, IN SOUTHERN MESOPOTAMIA. THE NAME IS DERIVED FROM THE SUMARIAN WORD FOR PLAIN/STEPPE”OR FROM THE HEBREW WORD FOR PLEASURE.

SCHERIA - GREEK: A MYTHICAL ISLAND FEATURED IN HOMER’S ODYSSEY. ODYSSEUS IS WASHED ASHORE AFTER DRIFTING FOR 10 YEARS AND ESCORTED TO THE KINGSPALACE BY HIS DAUGHTER NAUSICAA. ITS PORTRAYED AS THE IDEAL GREEK COLONY, WITH STOUT WALLS, A STONE TEMPLE AND GOOD HARBOURS, BEING HOME TO EXPERT MARINERS WITH SELF NAVIGATING SHIPS, AND SKILLED CRAFTSWOMEN WHO LIVE IN PEACE UNDER THEIR KING’S RULE, AND FEAR NO STRANGERS. THIS EXAMPLE EMPHASISES THE SELF-SUFFICIENCY ASPECT IDOLISED WITHIN UTOPIAN IDEALS

KETUMATI - BUDDHIST: IT IS BELIEVED THAT ONCE MAITREYA IS REBORN INTO THE FUTURE KINGDOM OF KETUMATI, A UTOPIAN AGE WILL BEGIN. ITS DESCRIBED AS A DOMAIN FILLED WITH PALACES MADE OF GEMS, SURROUNDED BY KALPAVRISHKA TREES (WISHING TREES), PRODUCING FOODS & GOODS, ELIMENATING HUNGER MAKING SURE NO ONE HAS TO PARTAKE IN CULTIVATION. THIS AFFECTS THE ENTIREITY OF JAMBUDVIPA (GREATER INDIA), SHOWING THAT UTOPIAS DONT ONLY SUPPORT THEMSELVES BUT CAN PROVIDE FOR THEIR SURROUNDINGS AND GREATER ENVIRONMENT.

SHANGRI-LA - TIBET: A FICTIONAL PLACE, UN IN THE KUNLUN MOUNTAINS, DESCRIBED IN THE 1933 NOVEL ‘LOST HORIZON’ BY JAMES HILTON. SHANGRI-LA IS PORTRAYED AS A MYSTICAL, HARMONIOUS VILLAGE, GUIDED FROM A LAMASERY, ENCLOSED IN THE WESTERN END OF THE MOUNTAINS. SHANGRI-LA HAS BECOME SYNONYMOUS WITH EARTHLY PARADISE, IN THE NOVEL, DWELLERS ARE NEARLY IMMORTAL; AGEING INCREDIBLY SLOWLY NAND LIVING ‘HUNDREDS OF YEARS’.

THE PEACH BLOSSOM SPRING - CHINA: THE PEACH BLOSSOM SPRING IS A PIECE WRITTEN BY POET TAO YUANMING DESCRIBING A UTOPIAN PLACE. THE NARRATIVE GOES THAT A FISHERMAN FROM WULING SAILED UPSTREAM UNTIL HE CAME ACROSS A BEAUTIFUL PEACH GROVE WITH GREEN FIELDS COVERED IN BLOSSOM PETALS, HE CONTINUED UP THE RIVER UNTIL HE FOUND A SMALL GROTTO AT THE END OF THE RIVER. HE SQUEEZED THROUGH A PASSAGE TO DISCOVER AN ETHERIAL UTOPIA WHERE PEOPLE EXISTED IN HARMONY WITH NATURE. HE SAW A VAST EXPANSE OF FERTILE LAND, CLEAR PONDS, BAMBOO GROVES AND A COMMUNITY OF PEOPLE OF ALL AGES IN HOUSES IN NEAT ROWS. THE PEOPLE EXPLAINED THAT THEIR ANCESTORS FLED LONG AGO AND THAT THEY HADNT LEFT OR COMMUNED WITH ANYONE OUTSIDERS SINCE. TIMELESSNESS IS PREDOMINANT IN THIS STORY, AS TRUE UTOPIAS DONT REQUIRE CHANGE, AS THEYRE ALREADY PERFECT. IN THIS NARRATIVE, KEY ASPECTS I NOTICED WERE THAT IT WAS SPECIFIED THAT RESIDENTS ARE OF ALL AGES, LIVING COMMUNALLY, AND THAT, LIKE MANY OTHERS, THIS UTOPIAN PLACE WAS PROTECTED/HIDDEN FROM OUTSIDERS- SHOWING THE PRIORITIES OF THE TIME, WHICH WAS PROTECTION FROM OTHER WARRING COUNTRIES AND KINGDOMS.

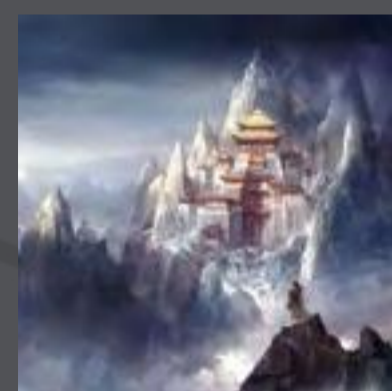


Modern Utopias:

21ST CENTURY DISCUSSIONS REGARDING UTOPIAS TYPICALLY REVOLVE AROUND POST-SCARCITY ECONOMICS, LATE-STAGE CAPITALISM & UNIVERSAL BASIC INCOME. THE CLOSEST REAL WORLD UTOPIAN PLACES ARE THOUGHT TO BE WITHIN SCANDINAVIAN NATIONS AS THEY TYPICALLY BOAST THE TOP RANKINGS IN THE WORLD HAPPINESS REPORT.

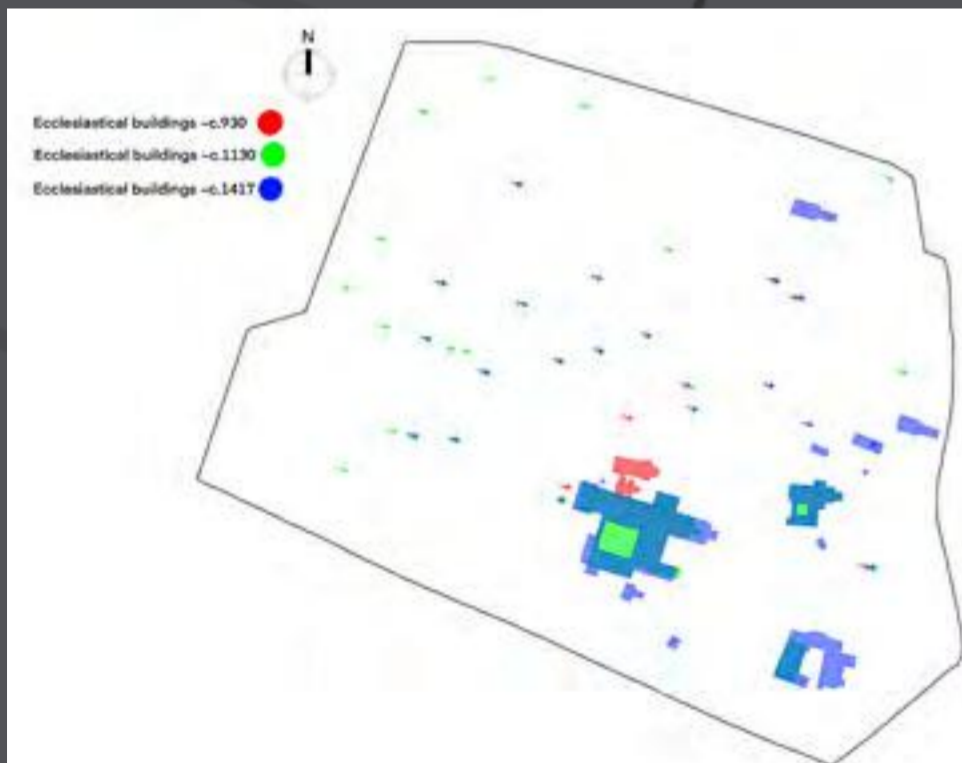
HISTORICALLY, UTOPIAS TEND TO BE PROTECTED FROM OUTSIDERS AND USUALLY FRAMED AS BEING ‘TOO WONDERFUL TO LEAVE’, ALTHOUGH THIS ASPECT IS MORE LIKELY DUE TO FEAR OF WARRING NATIONS INVADING YOUR CITY. IN OUR CURRENT AGE OF CONNECTIVITY AND PEACE, EXCLUSION AND DEFENCE ARE NO LONGER NECESSITIES, AS SO, INCLUSIVITY AND WIDER COMMUNITIES SHOULD BE ENCOURAGED INSTEAD.

MANY, NAMELY LYMAN TOWER SARGENT, ARGUE THAT THE NATURE OF THE UTOPIA IS INHERENTLY CONTRADICTORY BECAUSE WITHIN EVERY SOCIETY, THERE ARE CONFLICTING IDEAS AND PRIORITIES, THEREFORE THERE CAN NEVER BE TRUE HARMONY OR HOMOGENY. HOWEVER, RESEARCH CONDUCTED BY RICHARD SOSIS SHOWED THAT RELIGIOUS COMMUNITIES ARE MORE EFFECTIVE THAN SECULAR (NON-RELIGIOUS) AT MAINTAINING A COMMUNITY.

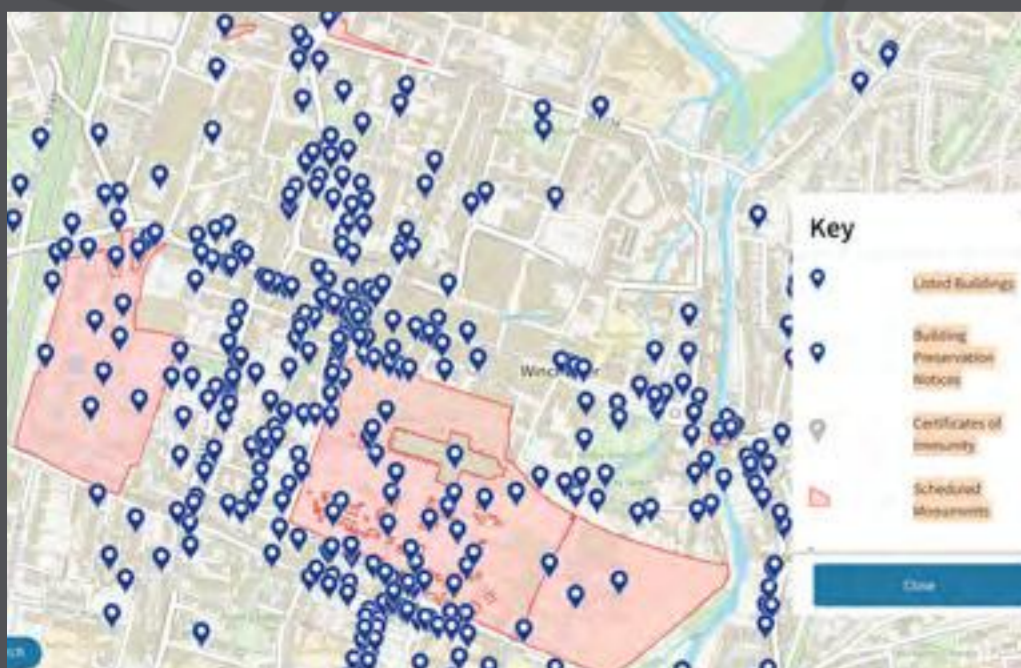




HISTORIC WINCHESTER- STREET GRID AND HISTORIC CITY WALL



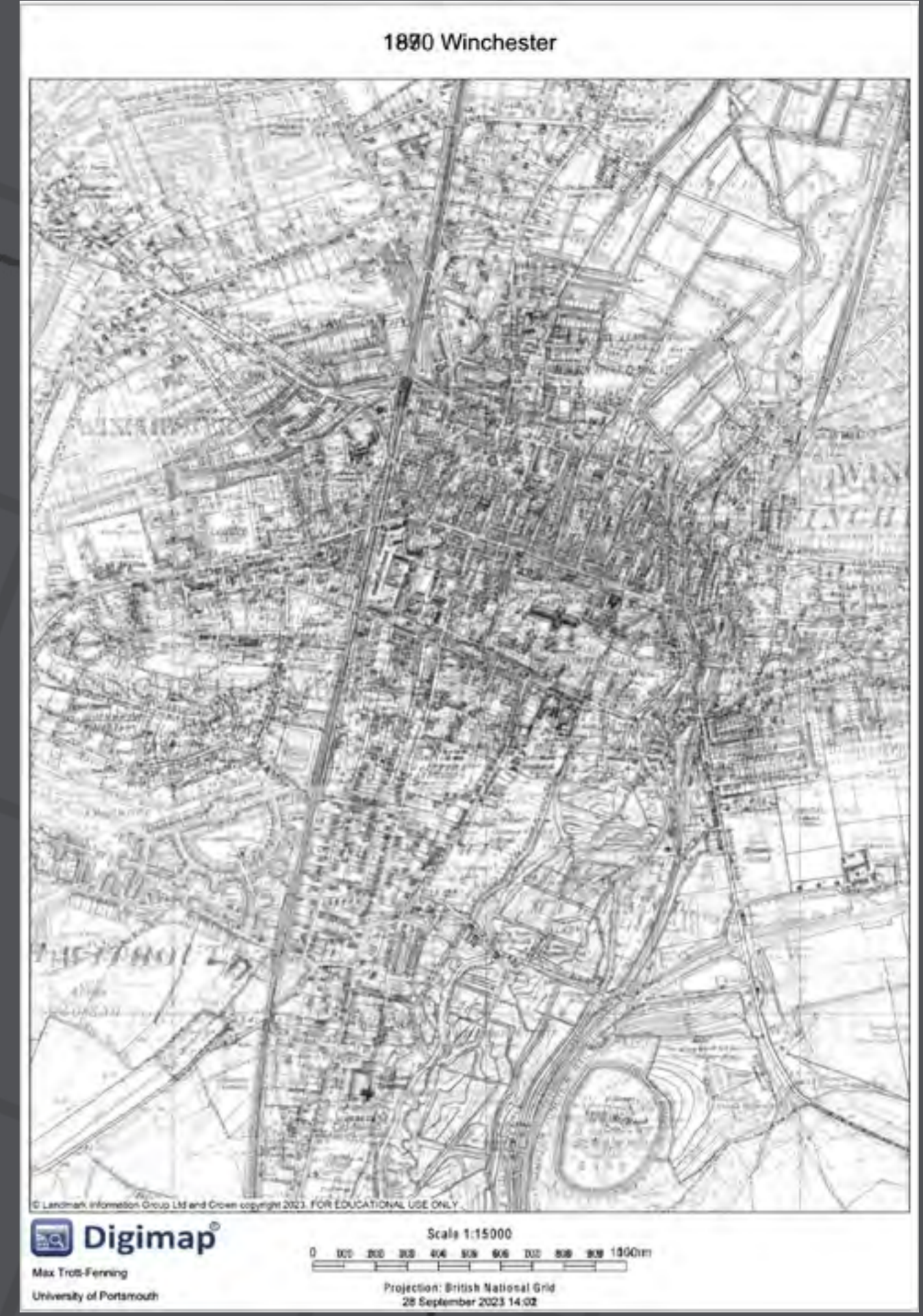
THIS DIAGRAM SHOWS THE RELIGIOUS BUILDINGS WITHIN WINCHESTER'S WALLS AS WELL AS THE TIME PERIODS THEY EXISTED WITHIN

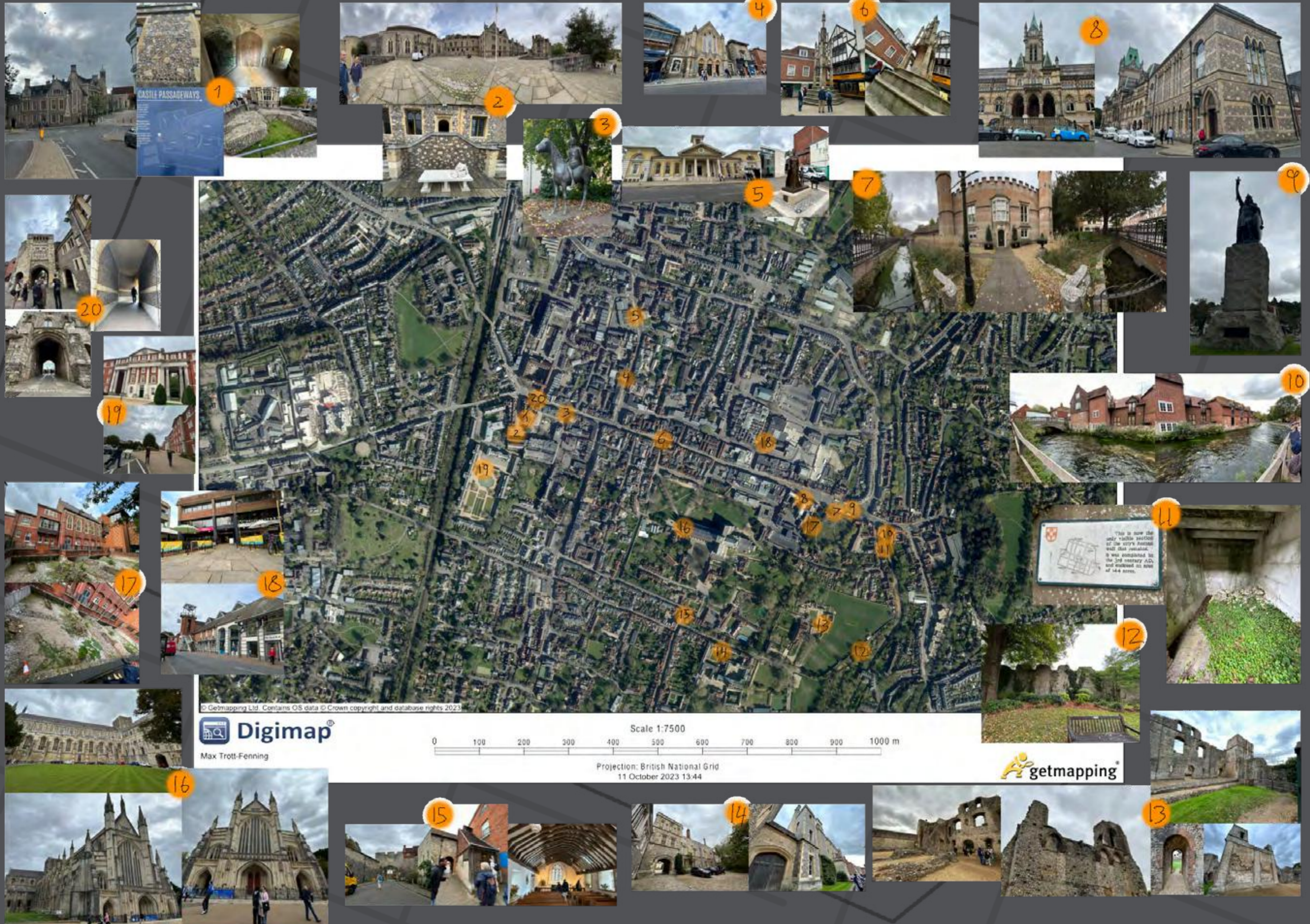


THIS IS A MAP DISPLAYING ALL OF THE LISTED BUILDINGS IN AND AROUND WINCHETSER



WITH THE PREVIOUSLY ESTABLISHED FOCUS ON CONNECTIVITY AND INCLUSIVITY, IVE EXPLORED THE WAYS IN WHICH WINCHESTER IS CONNECTED TO OTHER AREAS IN SOUTHERN ENGLAND. THE RIVER ITCHEN IS THE MOST IMPORTANT CHALKBED RIVER IN THE UK PARTLY BECAUSE OF THE VARIETY OF AQUATIC SPECIES LIVING WITHIN, AND PARTLY BECAUSE OF THE TRANSPORT OPTIONS IT PROVIDED TO OTHER TOWNS FURTHER UP THE RIVER. WINCHESTER ALSO HOLDS CONNECTIONS WITH OTHER BURGHES ACROSS WESSEX, CREATED AS HEAVILY DEFENDED AREAS TO STAND AGAINST VIKING INVASIONS. WINCHESTER ALSO HAS A TWIN CITY IN NORTHERN FRANCE CALLED LAON.





SOCIAL STUDY & S.W.O.T



Table 5.9: SWOT Analysis Summary

Strengths	Weaknesses
Affluent catchment area.	Traffic congestion.
Established commercial and business centre.	Continued pressure for parking within the PCZ.
Attractive historic centre and high quality environment.	Limited choice of larger footprint units.
Established tourist industry.	Narrow streets in places with 'pinch points' for pedestrians / those with mobility issues.
High quality retailers and food and beverage offer.	Limited commercial leisure offer e.g. multiplex cinemas & Ten-pin bowling.
Good mix of units in historic and modern premises.	Conservation and heritage building limit scope for development.
Good mix of national multiples and independent retailers.	
Established street markets.	
Low vacancy levels.	
Continued demand for space in smaller units.	
Central bus station and availability of park and ride.	
Successful Business Improvement District in place.	
Free parking in the centre on Sundays.	

HEALTH IMPACTS ACTIVITY

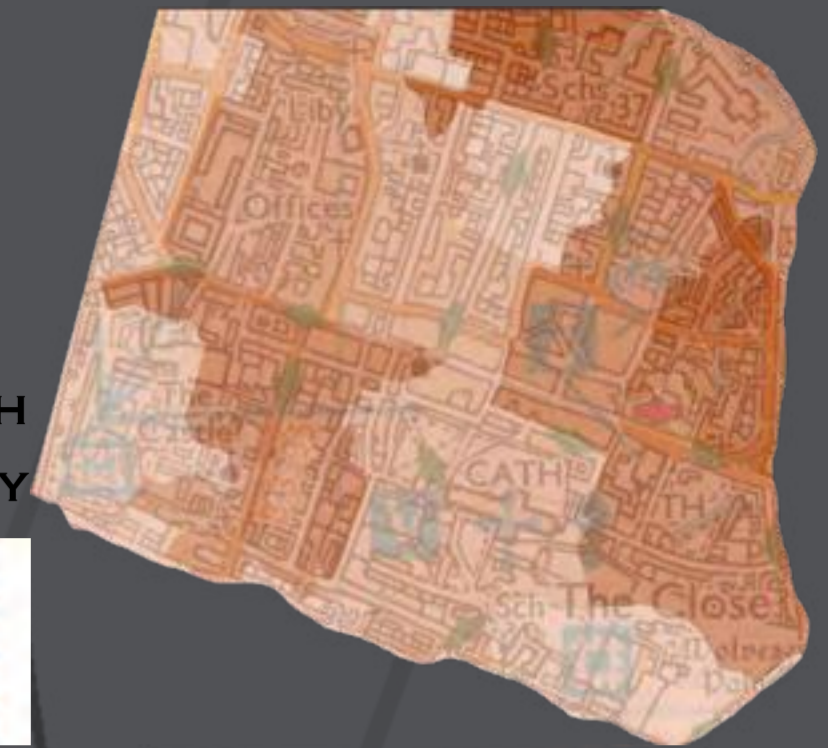
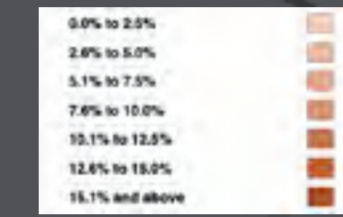


Table 5.8: Suggested improvements to encourage more shopping visits to Winchester Town

Household Survey Responses (Study Area)	In-Centre Survey Responses
Nothing (38.6%)	Nothing (30.7%)
More national multiple shops / High Street shops (17.2%)	More independent shops (25.3%)
More independent shops (17.1%)	More national shops/ high street shops (14.7%)
Free car parking (6.4%)	More/ better value or affordable shops (8.0%)
More / better non-food shops (4.0%)	Not as many cafes/ coffee shops (8.0%)
	More/ better food shops (4%)

UNQUALIFIED

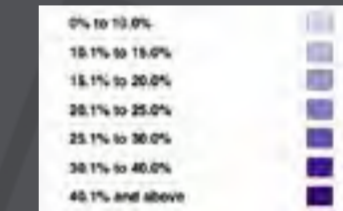
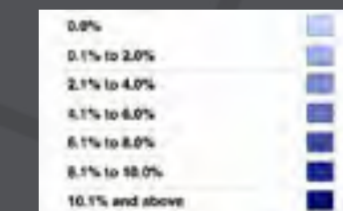


Table 5.7: Perception of town centre facilities

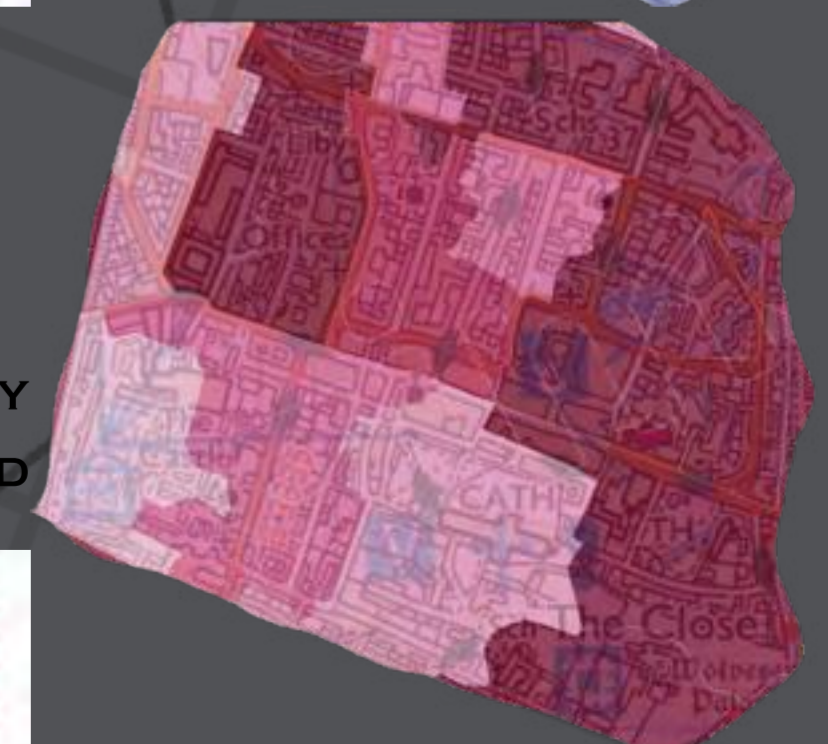
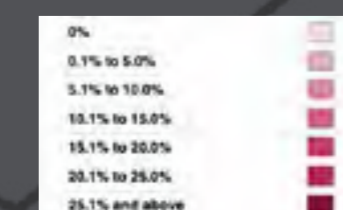
	Very good	Quite good	Neither good nor poor	Quite Poor	Very Poor	Don't know
Availability of parking	0.7%	50.7%	10.7%	15.3%	1.3%	21.3%
Parking charges	0.0%	2.7%	31.3%	29.3%	16.0%	20.7%
Traffic congestion	0.0%	0.7%	13.3%	50.7%	32.7%	2.7%
Public transport services	8.0%	63.3%	12.7%	0.7%	0.0%	15.3%
Personal safety	70.0%	27.3%	2.7%	0.0%	0.0%	0.0%
Range of shops and services	68.0%	30.0%	1.3%	0.7%	0.0%	0.0%
Quality of shops and services	51.3%	46.7%	0.7%	0.0%	0.0%	1.3%
Click & collect services/ pick up points	18.0%	8.7%	2.0%	0.0%	0.0%	71.3%
Daytime entertainment/ leisure facilities	64.0%	34.7%	0.7%	0.0%	0.0%	0.7%
Evening entertainment and leisure facilities	49.3%	29.3%	1.3%	0.0%	0.0%	20.0%
Town centre events	67.3%	31.3%	0.7%	0.0%	0.0%	0.7%
Liveliness/ street life/ character	72.7%	27.3%	0.0%	0.0%	0.0%	0.0%
Quality/ number of places to eat and drink out	78.7%	20.7%	0.0%	0.0%	0.0%	0.7%
General shopping environment	76.0%	22.7%	1.3%	0.0%	0.0%	0.0%
Street markets	8.7%	35.3%	35.3%	10.7%	1.3%	8.7%

UNEMPLOYED

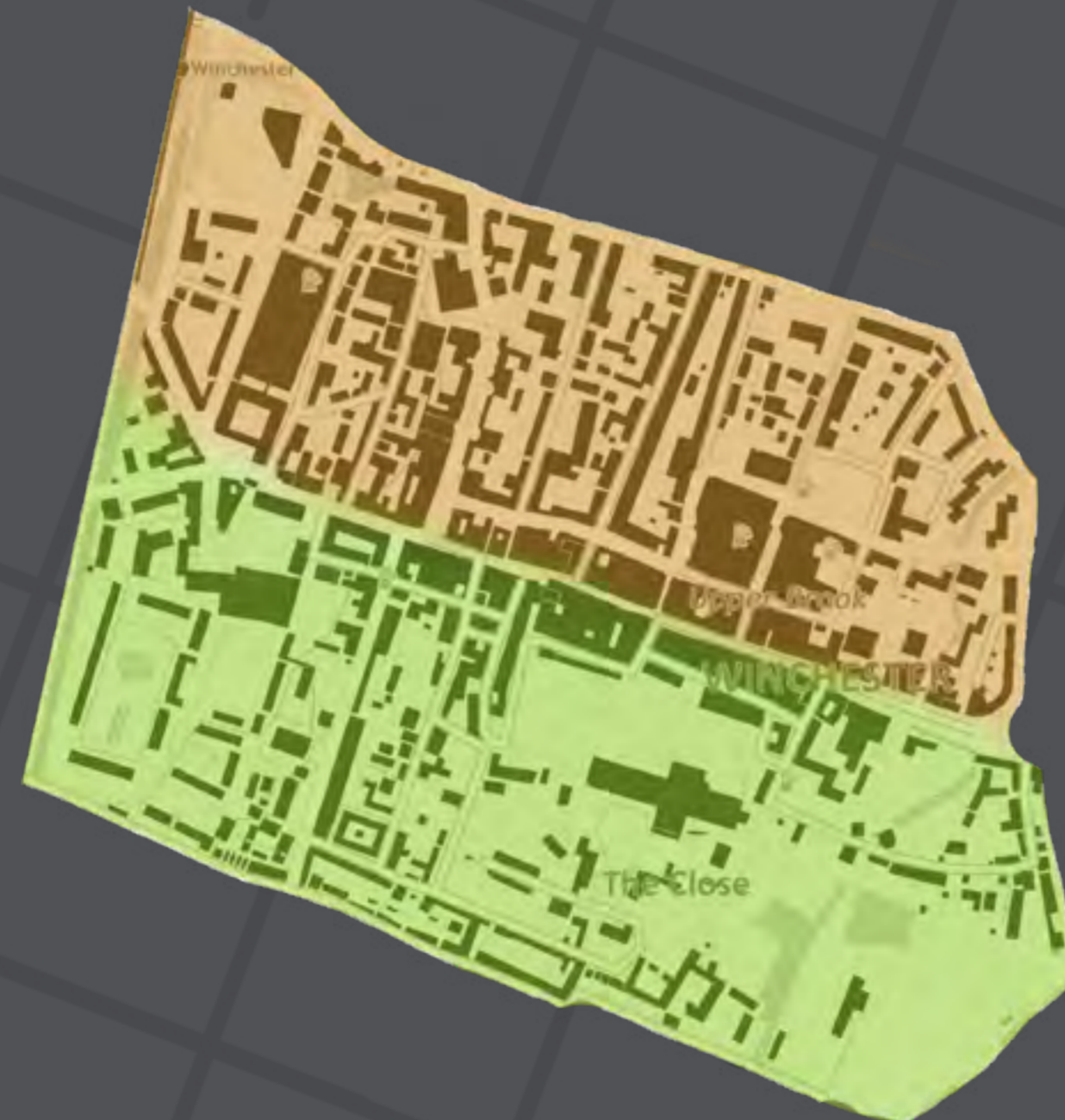


AFTER REVIEWING THE WINCHESTER COUNCIL'S SURVEYS, IT WOULD SEEM PEOPLE DONT HAVE MUCH TO COMPLAIN ABOUT OTHER THAN TRAFFIC AND PARKING ISSUES. THROUGH OTHER RESEARCH, IVE FOUND THERE IS A SLIGHT ANTI-SOCIAL BEHAVIOUR ISSUE IN TOWN, INVOLVING THE WINCHESTER YOUTH (MAINLY STUDENTS), AS WELL AS A HOMELESS ISSUE

SOCIALLY RENTED



THIS SHOWS SOME OF THE MAIN LANDMARKS WORTH SEEING WITHIN CENTRAL WINCHESTER, MANY OF WHICH, IT WOULD BE BENEFICIAL TO LOCATE NEAR, DRAWING MORE ATTENTION AND UTILISING A PRE EXISTING LANDMARK.



THIS DIAGRAM DEPICTS THE TRAFFIC ISSUES IN CENTRAL WINCHESTER, SHOWING WHERE I HAVE OBSERVED THE TRAFFIC TO BE BETTER AND WORSE. I BELIEVE TRAFFIC TO BE MUCH WORSE ALONG THE CENTRAL ROAD/HIGH-STREET

MY SOCIAL STUDIES INDICATE A NORTH-SOUTH DIVIDE PREVALENT IN WINCHESTER REGARDING EMPLOYABILITY AND SOCIAL RENTING. IT APPEARS THAT MOST OF THE ATTRACTION THAT MAKE WINCHESTER WORTHY OF VISITING ARE LOCATED SOUTH OF, OR ON THE MAIN HIGH STREET. THIS MAY BE CAUSING THE NORTH SIDE TO RECEIVE LESS VISITORS, LESS TOURIST INCOME AND THEREFORE, LESS ATTENTION FROM DEVELOPERS



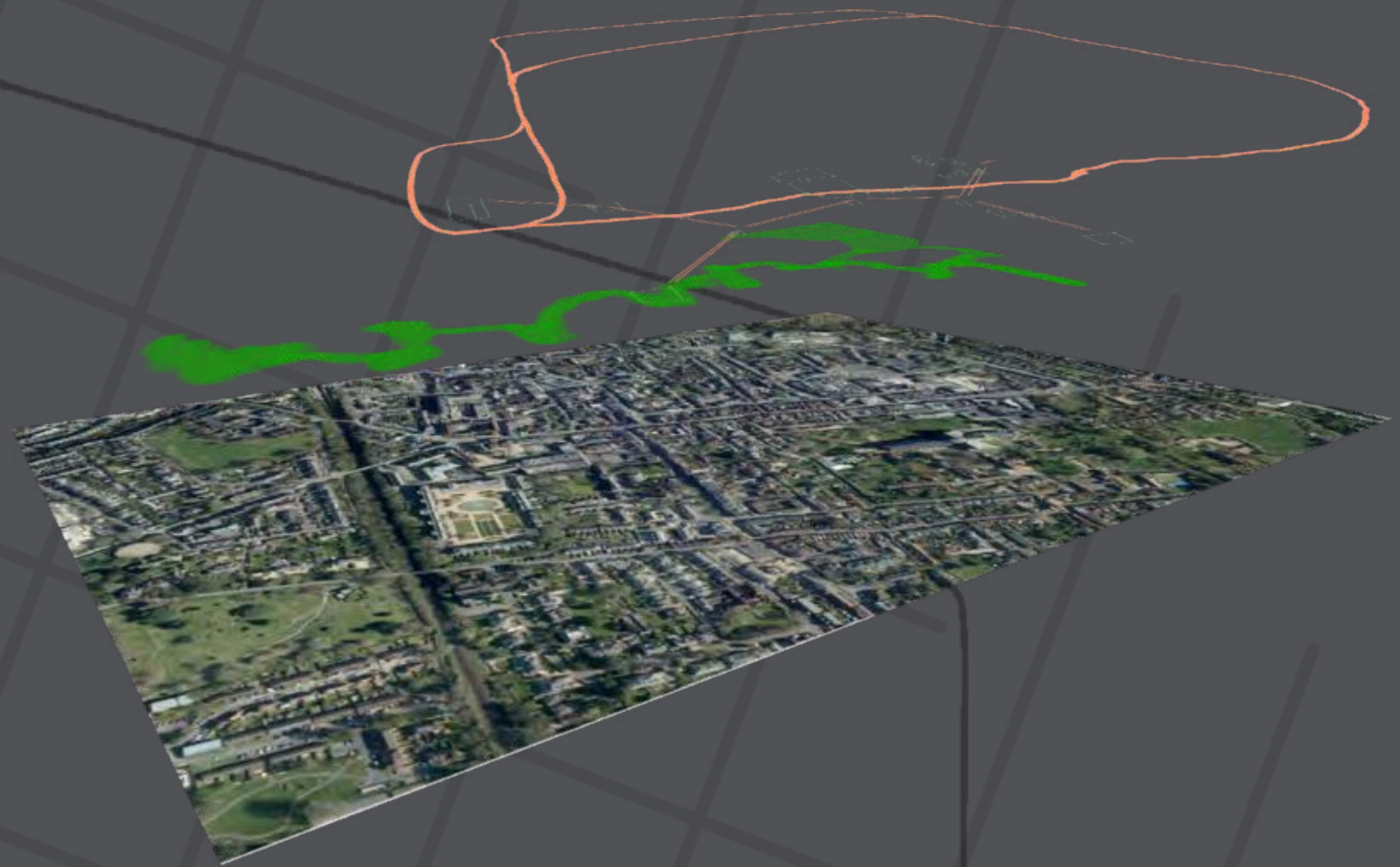
MY VISION

/SCENARIO ARTEFACT

INITIAL URBAN

CONCEPT

THE RIVER ITCHEN PROVIDES A NATURE CORRIDOR, BRIDGING FORESTED AREAS NORTH AND SOUTH OF CENTRAL WINCHESTER, INTRODUCING NATURE TO A NARROW AND AFFLUENT SECTION OF THE CITY. I INTEND TO MAKE THE NORTH SIDE OF WINCHESTER A PLACE PEOPLE WILL WANT TO VISIT AND EXIST WITHIN. I PLAN TO TURN IT INTO AN ATTRACTIVE PLACE RESIDENTS AND VISITORS ALIKE WILL FLOCK TO, AND WHERE URBAN AND RURAL ENVIRONMENTS CO-EXIST AND THRIVE.



I ALSO INTEND TO INTRODUCE A MONORAIL SYSTEM ENCOMPASSING ALL OF CENTRAL WINCHESTER, IN PLACE OF THE HISTORIC CITY WALL. THIS WILL HOPEFULLY HELP ADDRESS THE TRAFFIC ISSUES AS WELL AS ATTRACT PEOPLE FROM AROUND SOUTHERN ENGLAND WITH ONE OF VERY FEW MONORAILS IN THE UK. FURTHERING THE INCREASED TOURISM, IT CAN ALSO ACT AS A SIGHTSEEING TOUR OF THE WALLED CITY, PROVIDING ELEVATED VIEWS OF HISTORIC LANDMARKS ALL AROUND CENTRAL WINCHESTER.

URBAN STRATEGIES & CONCEPT DEVELOPMENT

- ## STRATEGIES FOR ENGAGING THE COMMUNITY
- + ENGAGE THE COMMUNITY
 - + DESIGNING SPACES & STRUCTURES
 - + MANAGING
 - + TARGET HARDENING: TRYING TO MAKE THE FACILITIES NEARLY INDESTRUCTABLE
 - + PLACE MAKING: UTILISING GOOD DESIGN, ATTRACTIVE NEW FACILITIES AND PROPER MAINTENANCE TO CREATE PLACES AND SPACES THAT PEOPLE WILL USE



MAIN DESIGN PRINCIPLES

SPACE & FUNCTION

- + IDENTIFY COMMUNITY NEEDS & PLAN THEM INTO THE SPACE TO ENCOURAGE POPULARITY & SELF POLICING
- + IDENTIFY PARTICULAR GROUPS (YOUTHS, DOG WALKERS ETC) WHO MIGHT CARRY OUT 'ANTI-SOCIAL' ACTIVITIES. CAN THEY BE BETTER ACCOMMODATED WITHIN THE DESIGN?
- + LOCATE FUNCTIONS & ACTIVITIES APPROPRIATELY (WHERE TO PLACE SEATING FOR THE ELDERLY, CHILDRENS PLAY OR BIKE TRACK)
- + HOW DO THE FUNCTIONS INTERACT (DO THE ELDERLY HAVE TO WALK PAST THE YOUTH CENTRE TO REACH SEATING?)
- + DESIGN THE SPACE TO REFLECT THE FUNCTIONS & ACTIVITIES
- + PLAN IN POTENTIAL FIRE BREAKS AS WELL DESIGNED, MULTIFUNCTIONAL, INTEGRAL SPACES

CHARACTER & SENSE OF PLACE

- + KEEP THE DESIGN LOW-KEY AND NATURAL IN APPEARANCE TO CREATE A FRIENDLY, INFORMAL ENVIRONMENT
- + PLANT NATURAL BARRIERS WHICH CAN BE AS EFFECTIVE AS FENCES
- + ESTABLISH ATTRACTIVE ENVIRONMENTS WITH DIVERSITY IN SPACES & SPECIES
- + ADD WINTER COLOURS AND SHELTER TO ENCOURAGE USE ALL YEAR ROUND
- + PLAN SPACES TO MAKE THE MOST OF ASPECT & SHELTER TO WNCOURAGE 'SITTING', NOT JUST 'PASSING THROUGH', WHICH MAKES FOR BETTER SECURITY

VIEWS & VISIBILITY

- + MAKE SURE VULNERABLE AREAS ARE VISABLE, PROVIDING PASSIVE SURVEILLANCE
- + DESIGN SIGHT LINES & INTER-VISIBILITY BETWEEN SPACES
- + AVOID LONG CORRIDORS WITH 1 EXIT AS WELL AS LENGTHS OF NARROW, CLOSED IN SPACES AND BLIND CORNERS
- + CREATE WIDE WELCOMING ACCESS POINTS WITH CLEAR SIGHT LINES AT THE ENTRANCES
- + AVOID OPEN SPACES AS THEY'RE UNWELCOMING AND EXPOSED

ACCESS

- + PRE-PLAN FOR ISSUES BY PLANTING SCRUB & TREES TO LIMIT ACCESS & FREE MOVEMENT OF VEHICLES
- + DEVELOP DEDICATED SITES FOR BIKES, WORKING WITH THE LOCAL COMMUNITY
- + PLAN FENCED DOG-FREE AREAS FOR PLAY OR FENCED DOG WALKING RUNS
- + CREATE EASILY ACCESSIBLE FOOTPATHS WITH LIGHTING IF NECESSARY TO ENCOURAGE USE BY EVERYONE AT ALL TIMES



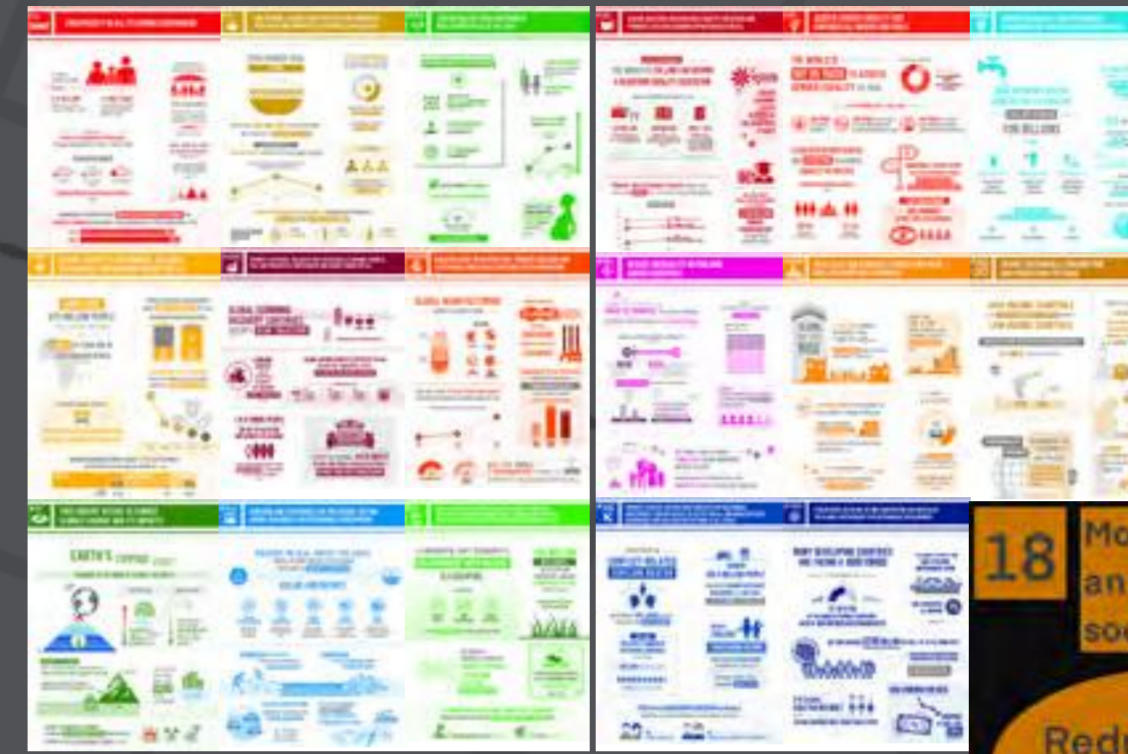
ARCHITECTURE THAT ALIENATES

PARK BENCHES AND PAVEMENTS ARE COMMON RESIDENCE FOR THE HOMELESS. FOR MANY, THIS IS UNACCEPTABLE, SO THE PRACTICE OF HOSTILE ARCHITECTURE IS EMPLOYED IN ORDER TO MAKE PUBLIC SPACES IMPOSSIBLE FOR ONE TO REST IN. THESE DESIGNS ARE MEANT TO PREVENT SLEEPING IN PUBLIC SPACES HOWEVER, THERE IS LITTLE EVIDENCE TO SUGGEST THAT THIS APPROACH IS AN EFFECTIVE LONG TERM MEASURE, IT DOES SUGGEST HOWEVER, THAT ITS IN FACT MORE EXPENSIVE THAN HOUSING THE HOMELESS INSTEAD. HOSTILE ARCHITECTURE HIDES THE HOMELESS ISSUE, RATHER THAN ADDRESSING IT. THESE HOSTILE STRUCTURES ALSO LIMIT ACCESSABILITY FOR THE NON-HOMELESS POPULATION INCLUDING ELDERLY & DISABLED PEOPLE. HOSTILE DESIGN ALSO ALIENATES THE HOMELESS FROM PUBLIC SPACES & MAKES THE COMMUNITIES LESS COHESIVE.

ANTI-HOSTILE ARCHITECTURE

COMPANIES SUCH AS "RAINCITY HOUSING" TACKLEHOUSING ISSUES THROUGH VARIOUS PROGRAMMES. THEY GAINED ATTENTION THROUGH THEIR BENCH CAMPAIGN IN WHICH PUBLIC BENCHES WERE CONVERTED INTO TEMPORARY SHELTERS WITH EXTENDABLE ROOFS TO PROTECT SLEEPERS FROM THE WEATHER. THESE SHELTERS ALSO RAISE AWARENESS AGAINST HOSTILE DESIGNING, ALONG WITH OVERDOSE PREVENTION SITES, PEER-WITNESSING PROGRAMMES AND SUPPORTIVE HOUSING SHELTERS. A SEPERATE COMPANY; ULMER NEST, HAVE LAUNCHED A PILOT PROJECT OF SOLAR-POWERED SLEEPING PODS. THESE ARE MEANT AS LAST RESORY OPTIONS FOR HOMELESS PEOPLE OR THOSE WITHOUT ACCESS TO SHELTER.

FOUR PILLARS OF MODERNISATION & SUSTAINABLE DEVELOPMENT GOAL 18



18 Modernising cities, respecting heritage and encouraging environmental and social sustainability and equality

- Reducing anti-social behaviour
- Updating Historic context
- Reducing traffic and pollution through introducing new public transport
- Creating spaces for old and young demographics respectively

LEISURE ACTIVITIES:

- + I WILL BE INTRODUCING LEISURE CENTRES AT MULTIPLE POINTS AROUND MOSTLY NORTHERN CENTRAL WINCHESTER TO PROVIDE A SPACE FOR THE YOUTH TO HANG OUT.
- + SOME NEW SITES AS WELL AS SOME LEISURE CENTRES WILL DOUBLE AS EVENT SPACES AS WELL, FOR BOTH OLD AND NEW GENERATIONS TO ENJOY AS WELL AS ATTRACT TOURISM TO THE CITY
- + THE MONORAIL SYSTEM WILL ALSO PROVIDE AN ELEMENT OF TOURIST INTEREST
- + THE ACT OF PLACING MOST LEISURE FACILITIES AND EVENT SPACES IN THE NORTHERN SECTOR OF CENTRAL WINCHESTER WILL ACT AS A SOFT DIVIDE BETWEEN OLD AND YOUNG GROUPS OF PEOPLE SO NEITHER ARE DISTURBING THE OTHER, AS MOST HISTORIC ATTRACTIONS AND ACTIVITIES ENJOYED BY OLDER GENERATIONS ARE ALREADY LOCATED IN SOUTHERN CENTRAL WINCHESTER.

CIRCULATORY CITY TRANSPORTATION:

- + I AM INSTALLING A MONORAIL SYSTEM ALONG THE ENTIRE OUTSKIRTS OF CENTRAL WINCHESTER, ALLOWING BETTER ACCESS FROM THE OUTSIDE, IN, AND INCREASING FOOTFALL AWAY FROM THE HIGH STREET
- + I WILL BE RELOCATING THE CENTRAL BUS STATION FURTHER TOWARDS THE WINCHESTER TRAIN STATION TO PROVIDE A SMOOTHER TRANSITION BETWEEN PUBLIC TRANSPORTS AND AN EASIER TRAVEL THROUGH WINCHESTER. A MONORAIL PLATFORM WILL ALSO BE AT THIS LOCATION

INTRODUCING NATURE INTO THE CITY:

- + I WILL BE INTRODUCING A NATURE HIGHWAY GOING THROUGH NORTH CENTRAL WINCHESTER, SPANNING FROM EAST TO WEST, CONNECTING THE TWO NATURAL AREAS EITHER SIDE
- + THIS NATURE CORRIDOR WILL ALSO BE INTRODUCING FORESTRY AND NATURE INTO THE CENTRE OF THE CITY, HOPEFULLY MAKING PEOPLE MORE AWARE OF BEING ENVIRONMENTALLY CONSCIOUS IN EVERY DAY LIFE

HISTORIC PRESERVATION:

- + WHILST TRYING TO MODERNISE THE CITY, I WILL BE RESPECTING THE HERITAGE WITHIN, MAKING SURE NOT TO DISTURB ANY HISTORIC BUILDINGS
- + THE MONORAIL I AM INSTALLING WILL BE IN THE PATH OF THE ORIGINAL WINCHESTER GREAT WALL, REINSTATING ITS PREVIOUS NAME OF "THE WALLED CITY" (WITHOUT ACTUALLY PREVENTING ENTRY)

SDG 18:

MY 18TH SUSTAINABLE DEVELOPMENT GOAL ADDRESSES MULTIPLE ISSUES AFFECTING BOTH WINCHESTER AND THE LARGER POPULATION. IT FOCUSES ON INCLUSIVITY AND RESPECT WITHIN COMMUNITIES, FOSTERING CO-OPERATION BETWEEN ALL AGES AND DEMOGRAPHICS, WHILST PROMOTING CARE FOR THE ENVIRONMENT THROUGH SUSTAINABLE CONSTRUCTION AND INFRASTRUCTURE METHODS. MODERNISATION METHODS WILL BE UNDERTAKEN WITH RESPECT TO THE CULTURAL HISTORY OF THE LOCATION AND TAKE INTO ACCOUNT ALL ASPECTS OF WHAT MAKES EACH AREA UNIQUE AND SPECIAL.

MODERNISATION OF HISTORIC CITIES & PRECEDENTS



EDINBURGH'S OLD & NEW CITIES:

EDINBURGH HAS CLEVERLY MAINTAINED THEIR HISTORIC CITY WHILST INTRODUCING MODERNISATION AS WELL WITHOUT THE TWO CLASHING. THIS WAS ACHIEVED BY CREATING MULTIPLE 'SECTIONS' OF THE OLD & NEW CITY, IN PARTNERSHIP WITH UNESCO. EDINBURGH HAS SINCE BEEN TITLED THE MOST SUSTAINABLE CITY IN THE UK

METHODS OF HISTORIC CONSERVATION:

- + RENNOVATE BUILDINGS WITH VICTORIAN ETC STYLE DESIGN, KEEPING A SIMILAR STYLE MIXTURE
- + SUPPORT CURRENT LOCAL MARKETS - RELEVANT TO SUSTAINABILITY & CULTURAL SIGNIFICANCE
- + RESSURECT PAST HEROES & ERECT MONUMENTS IN THEIR HONOUR
- + STAY IN FAVOR OF LOCAL BUSINESS INSTEAD OF BUSINESS CONGLOMERATES

'BUILD HIGHER' STRATEGY:

EXTENSIONS ON EXISTING BUILDINGS HAVE TO MATCH OR ACCENTUATE THE EXISTING BUILDING SHAPE WHILST ADDING A MODERN TWIST. YOU SHOULD ALSO UTILISE MODERN MATERIALS LIKE GLASS ENHANCE MODERNITY & ALLEVIATES PROBLEMS IN BLENDING OLD AND NEW MATERIALS OF THE SAME TYPES (WEATHERING) AND THEY'RE LIGHT (SMALL LOAD WEIGHT)

MODERNISATION TECHNIQUES:

- + ESTABLISH THE CITY'S IDENTITY TAKING INTO ACCOUNT CULTURAL ACCURACY & THE CITY'S FUTURE NEEDS. THIS MAKES THE TRANSITION SMOOTHER & MORE ATTAINABLE
- + IMPROVE TECHNOLOGICAL INFRASTRUCTURE. MODERNISED CITIES ATTRACT CAPITAL & THUS NEED SUPPORT SYSTEMS FOR FUTURE DEVELOPMENT
 - + REDESIGN THE CITY LAYOUT WITH BUSINESS PARKS, BETTER FLOWING TRANSIT & GROUPED MARKETS (CHINATOWN, SHOPPING CENTRES)
 - + BOLD & RADICAL YET SUSTAINABLE DESIGNS



BERLIN'S SUSTAINABILITY:

BEING A HISTORIC CITY, IT WAS A COURAGEOUS ACT FOR BERLIN TO START MODERNISING THEMSELVES, BERLIN HAS MADE STRIDES IN BECOMING ONE OF THE MOST SUSTAINABLE CITIES IN THE WORLD; HAVING PARKS, FORESTS AND WATER COVERING 37% OF THE CITY, ONE OF WHICH (TEMPELHOFER FELD) WAS ONCE THE AIRPORT AND IS NOW A GREEN SPACE AS BIG AS NEW YORK'S CENTRAL PARK.

MONORAILS



SYDNEY MONORAIL PLATFORM
THIS IS MORE OF AN INSPIRATION FOR THE PLATFORMS SPECIFICALLY. I'D LIKE FOR THEM TO BE SMALL, NON-INTRUSIVE ELEMENTS IN THE STREET.

THEORETICAL 1960S MONORAIL RUNNING THROUGH REGENT STREET

THIS IS HOW I ENVISION THE RAILS THEMSELVES INTERACTING WITH THE STREETS



KUALA LUMPUR MONORAIL STATION
THIS DEMONSTRATES THE ELEVATION I'D LIKE TO ACHIEVE WITH MY MONORAIL STATION, ALLOWING PEOPLE AND CARS TO PASS UNDERNEATH.



LEISURE CENTRES



SEOUL EOULLIM SPORTS CENTRE
ALTHOUGH THIS STYLE IS A FAR CRY FROM ANYTHING IN MY PROPOSAL, I WILL BE USING THE SAME TECHNIQUE IN UTILISING THE HISTORIC VERNACULAR OF THE REGION, ADDING MODERN ASPECTS TO IT AND UPDATING IT FOR MY USES.



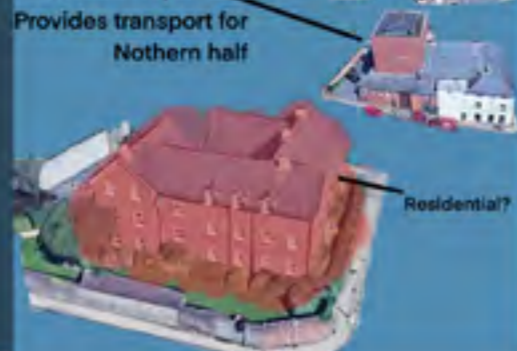
UNIVERSITY OF BRITISH COLUMBIA AQUATICS CENTRE



Platform 2
Close to Train station
Near Nature Highway
Existing buildings: residential & commercial



Platform 1
Close to The Arc
library and
Theatre Royal
Provides transport for
Nothern half



Nature Highway

The nature highway is a device used to connect 2 large areas of nature to the East & West of Winchester as well as introduce nature into central Winchester, making the Nothern half of Winchester a more attractive place to live and visit

Multiple large fields will also be possible event spaces



This pathway has been carefully planned to avoid historic buildings and will be bridged over roads

Site 2

This will be a residential block of high rise housing introducing new levels into the topography of Winchester.

This will act as rehousing those displaced by the other aspects of my urban strategy

The green field on the left of the building will also contain an underground car park to allow parking for the residents of the high rise and people visiting the nearby mall by car



Monorail station

I'm re-designing the Winchester bus station in favour of building a monorail station to reduce the amount of cars on the road around the high street

I'm also relocating the winchester bus stop close to the train station, next to monorail platform 2 for a smoother transition between services, allowing for easier transportation in and around winchester



Platform 4

Close to Wolvesey castle,
Winchester Cathedral,
Winchester College and
Abbey Gardens
Allows transpon for College
students

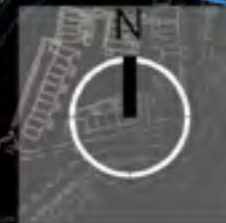


Platform 3

Allows viewing of peninsula gardens,
great hall and crown court
Next to Everyman cinema

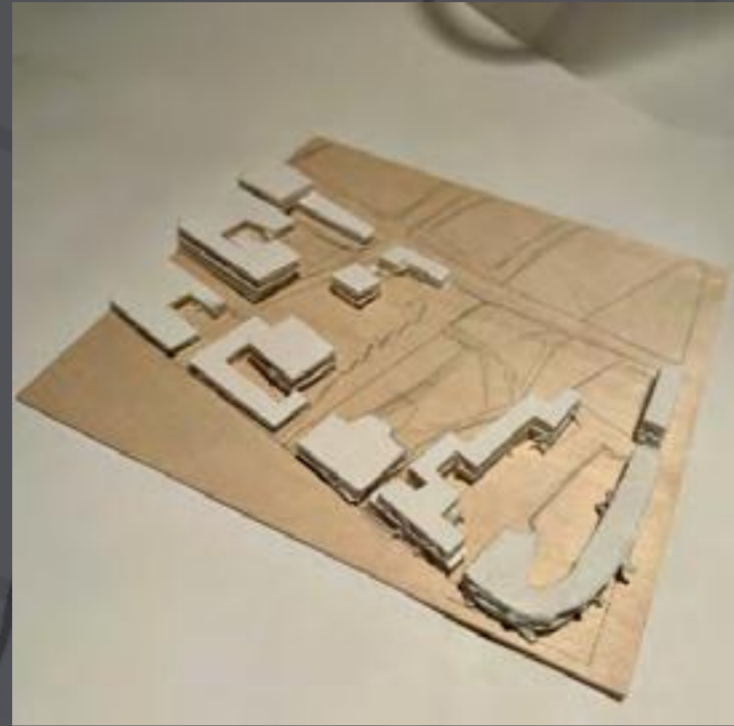
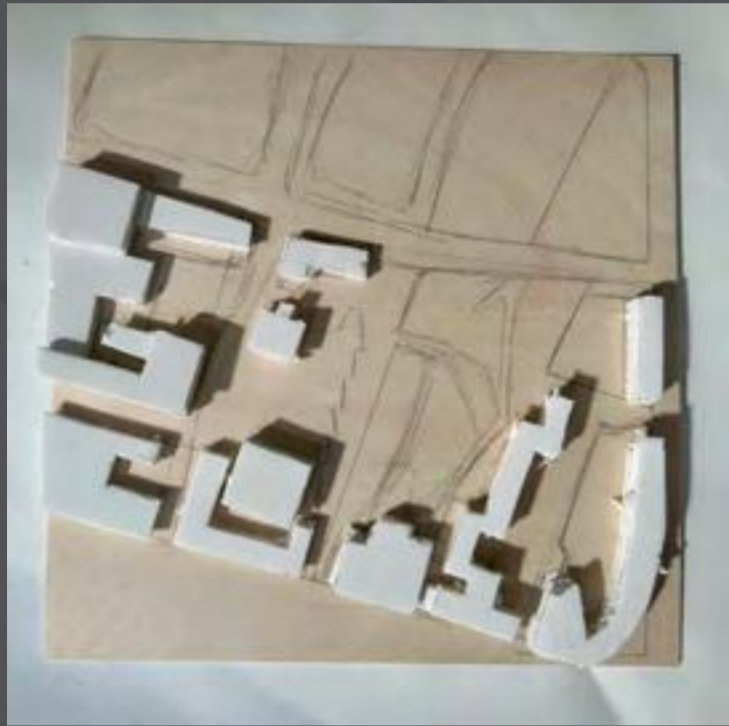


- Monorail
- Monorail Platforms
- Areas of tourist interest
- Nature Highway
- Bridge
- Potential leisure centre/event space



STRATEGY MAP

CHOOSING & STUDYING MY SITE



ENVIRONMENTAL ANALYSIS:
THE MOST INTERESTING ASPECTS OF THE SITE IS THE ACCESS AROUND THE SITE FROM ALL ANGLES, CREATING THE OPPURTUNITY FOR A HUB OF THE CITY, ENCOURAGING AN OPEN SPACE FOR EVERYONE TO ENJOY TOGETHER. THE OTHER INTRIGUING ASPECT OF THE ENVIRONMENTAL ANALYSIS IS THE DIRECTION AND INTENSITY OF NOISE AROUND THE SITE. IT IS SURROUNDED BY 3 VERY BUSY ROADS AND IS NEXT TO THE MOST BUSY AREA IN THE CITY.

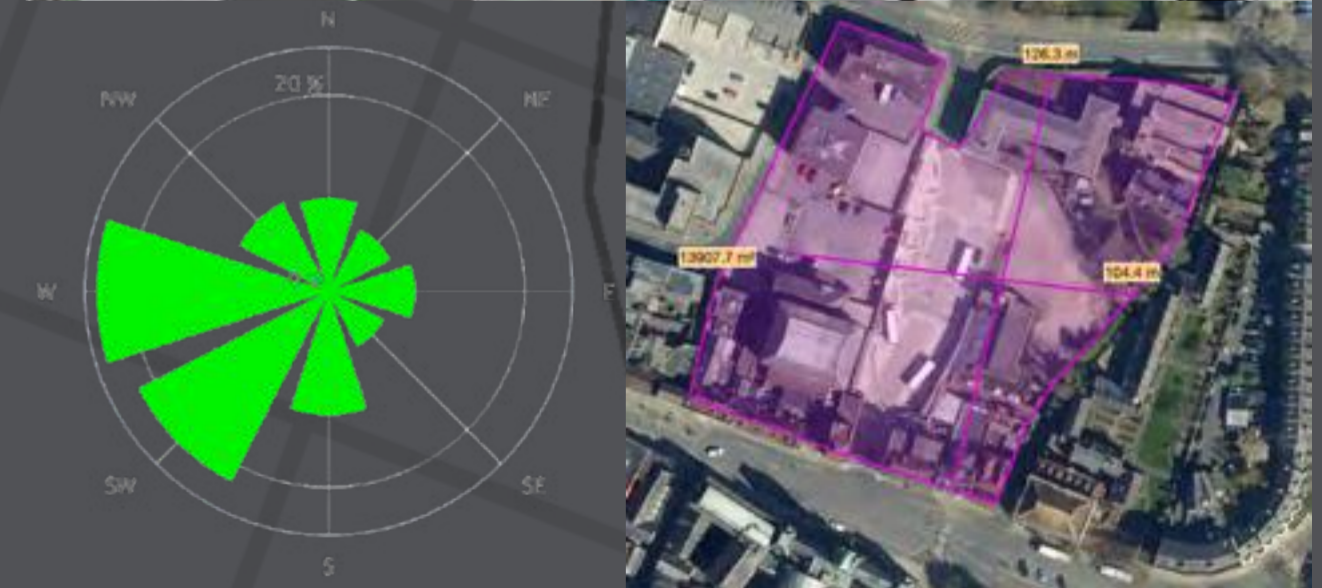


THE BUS STATION SITE IS ALREADY A HUB OF ACTIVITY, BEING THE PRIMARY LOCATION OF PUBLIC TRANSPORT, AND BEING LOCATED IN THE VERY CENTRE OF CENTRAL WINCHESTER AS WELL AS HAVING MULTIPLE ACCESS ROUTES FROM ALL ANGLES OF THE SITE.

THERE IS ALREADY CONSTRUCTION TAKING PLACE ON THIS SITE, IMPLYING THAT THESE BUILDINGS ARE ALREADY UNUSED AND THEREFORE IDEAL FOR DEVELOPMENT.

THE RIVER SPANNING THE LENGTH OF THE SITE ALSO HOLDS MUCH POTENTIAL AND I FEEL IS CURRENTLY UNDER-UTILISED. I UNDERSTAND THERE IS AN ALMSHOUSE IMMEDIATELY EAST OF THE SITE WHICH ALSO SHARES USE OF THE RIVER.

THE HOUSING COMPLEX NORTH OF THE SITE SEEMS TO BE IN NEED OF REVITALISATION AND HAS MUCH POTENTIAL IN ITS SURROUNDING LANDSCAPING, CONTAINING A RIVERSIDE PATH ALONG WITH LARGE GREEN SPACES AND FOLIAGE.



INCORPORATING THE VERNACULAR MATERIAL STUDY



**JUNYA ISHIGAMI,
SERPENTINE PAVILION.**

SLATE IS A HISTORICALLY
COMMON MATERIAL
USED TO CLAD ROOFS.



**HISTORIC WINCHESTER BUILDINGS,
INCLUDING THE WINCHESTER GREAT
HALL**

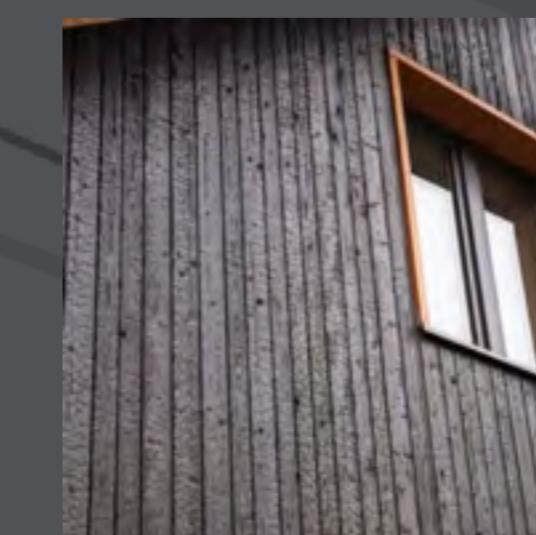
FLINT HAS HISTORICALLY BEEN USED IN
ABUNDANCE, ESPECIALLY IN SOUTHERN
ENGLAND WHERE NO 'GOOD BUILD-
ING STONE' IS FOUND, AND BEFORE
BRICK-MAKING WAS WIDELY KNOWN. IT
HAS ALSO BECOME ICONIC FOR WIN-
CHESTER AS MANY LANDMARK BUILD-
INGS UTILISE FLINT.

**FLINT HOUSE,
SKENE DE LA PENA**

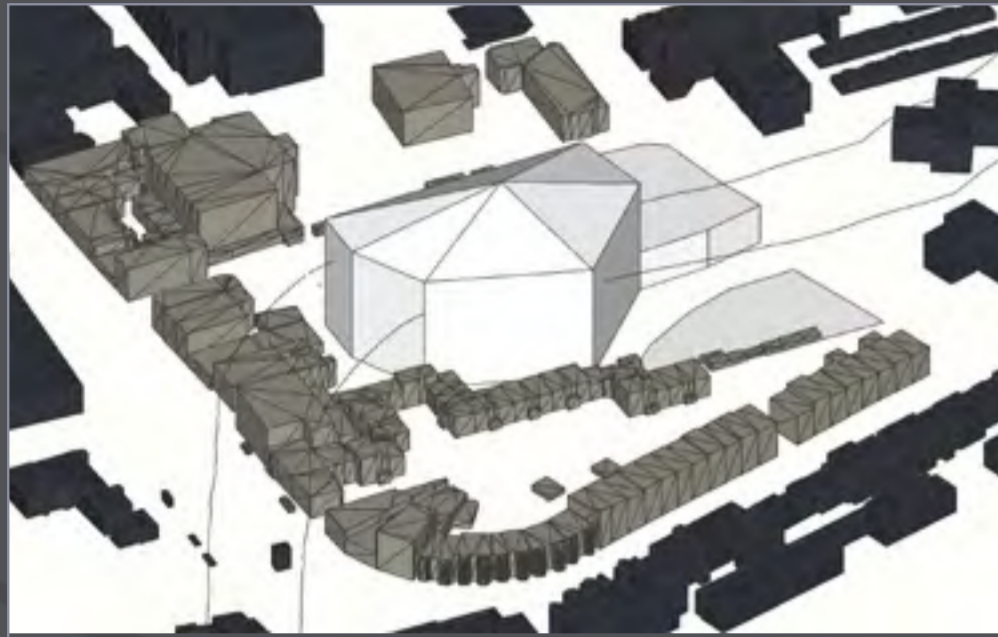
TIMBER IS A COMMON, CHEAP
AND VERY RELIABLE MATERI-
AL TO USE IN ALL ASPECTS OF
BUILDING SUCH AS CLADDING
AND STRUCTURE.

**THE CHESIL RECTORY,
WINCHESTER**

**GROTTO STUDIOS'
SHADOW HOUSE, PERTH.**



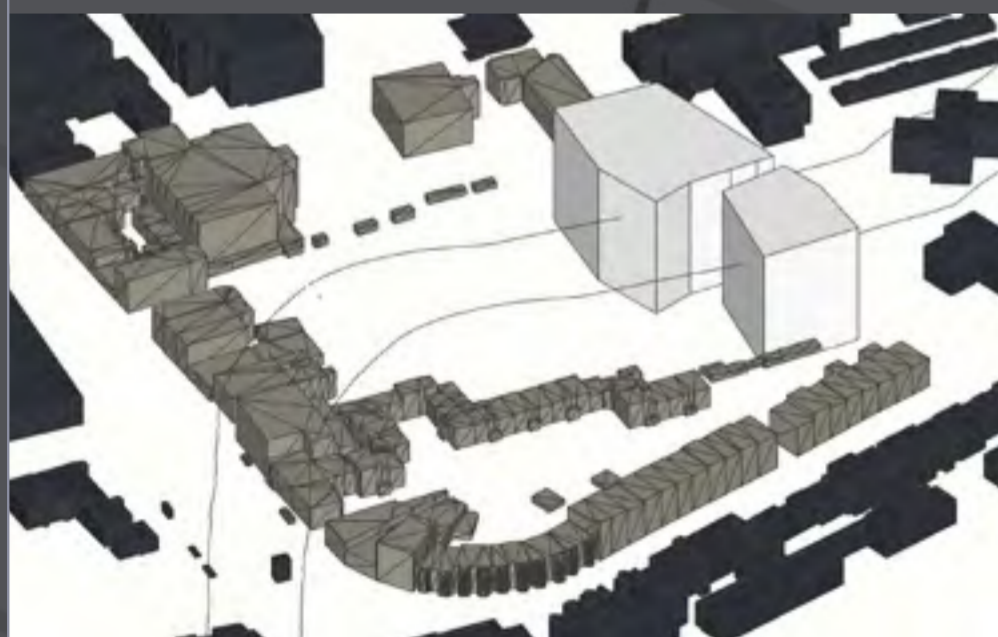
DESIGN ITERATIONS



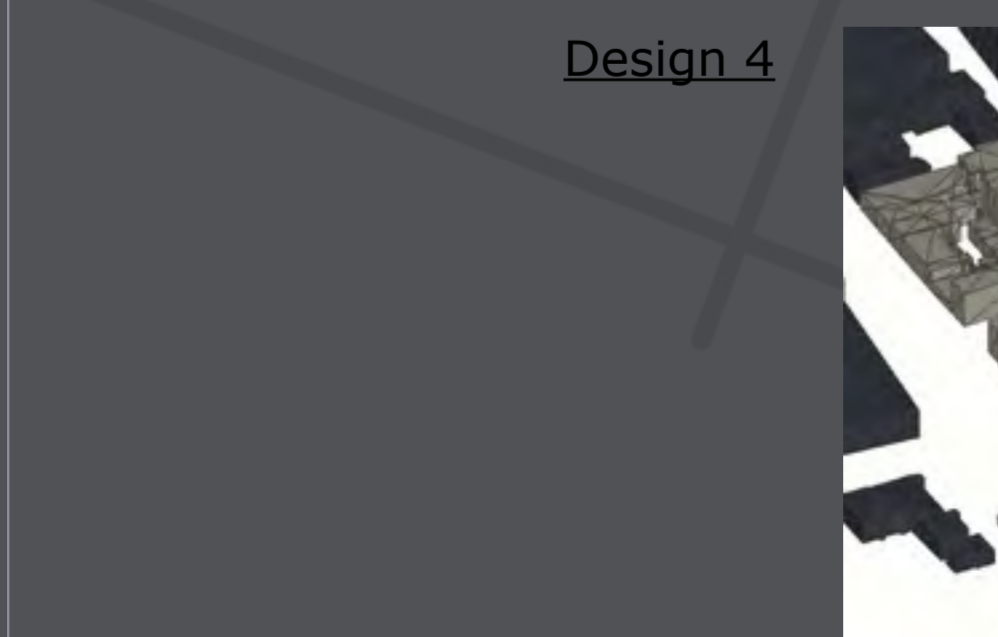
Design 1



Design 2



Design 3



Design 4



LANDSCAPING

DEVELOPMENT

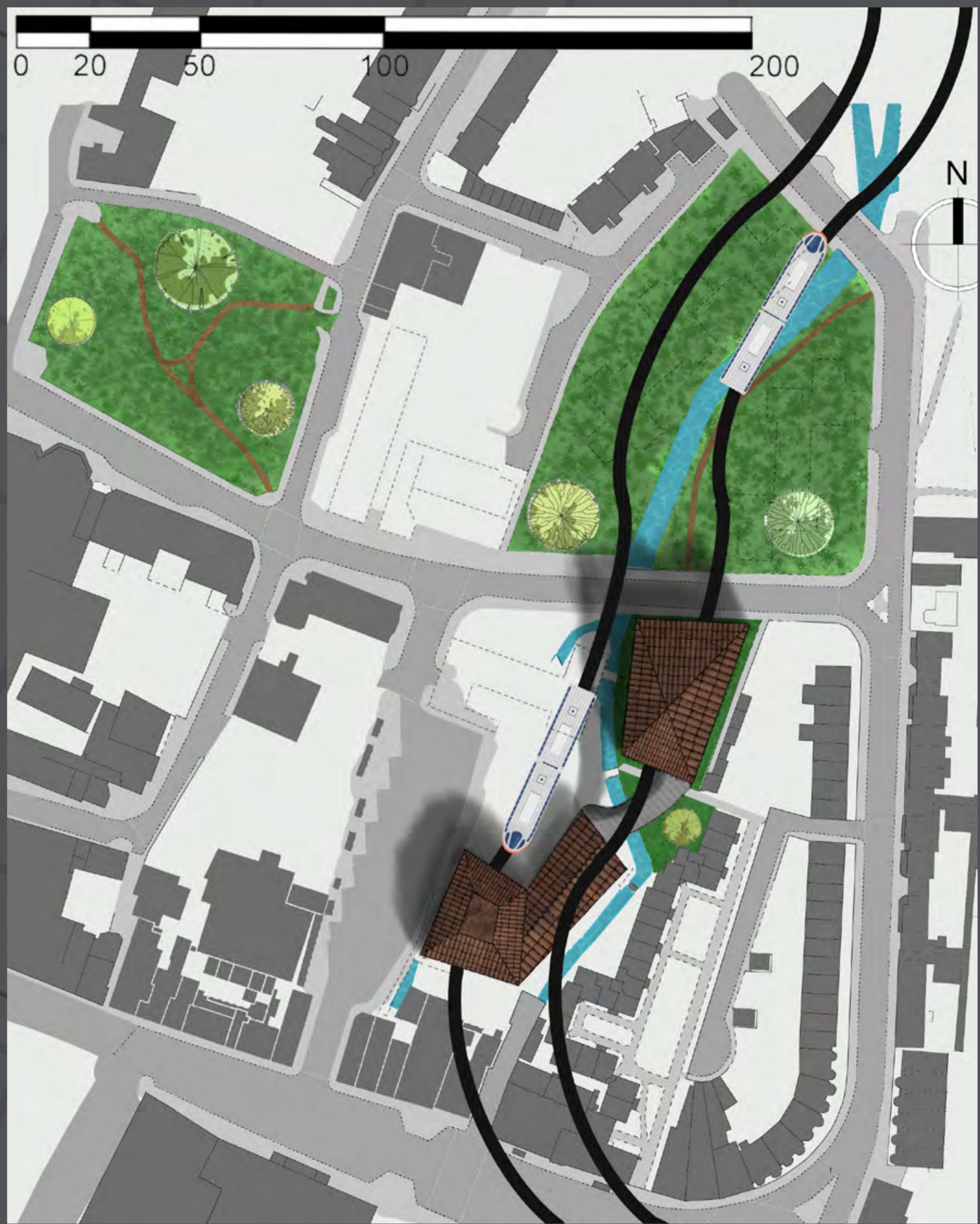
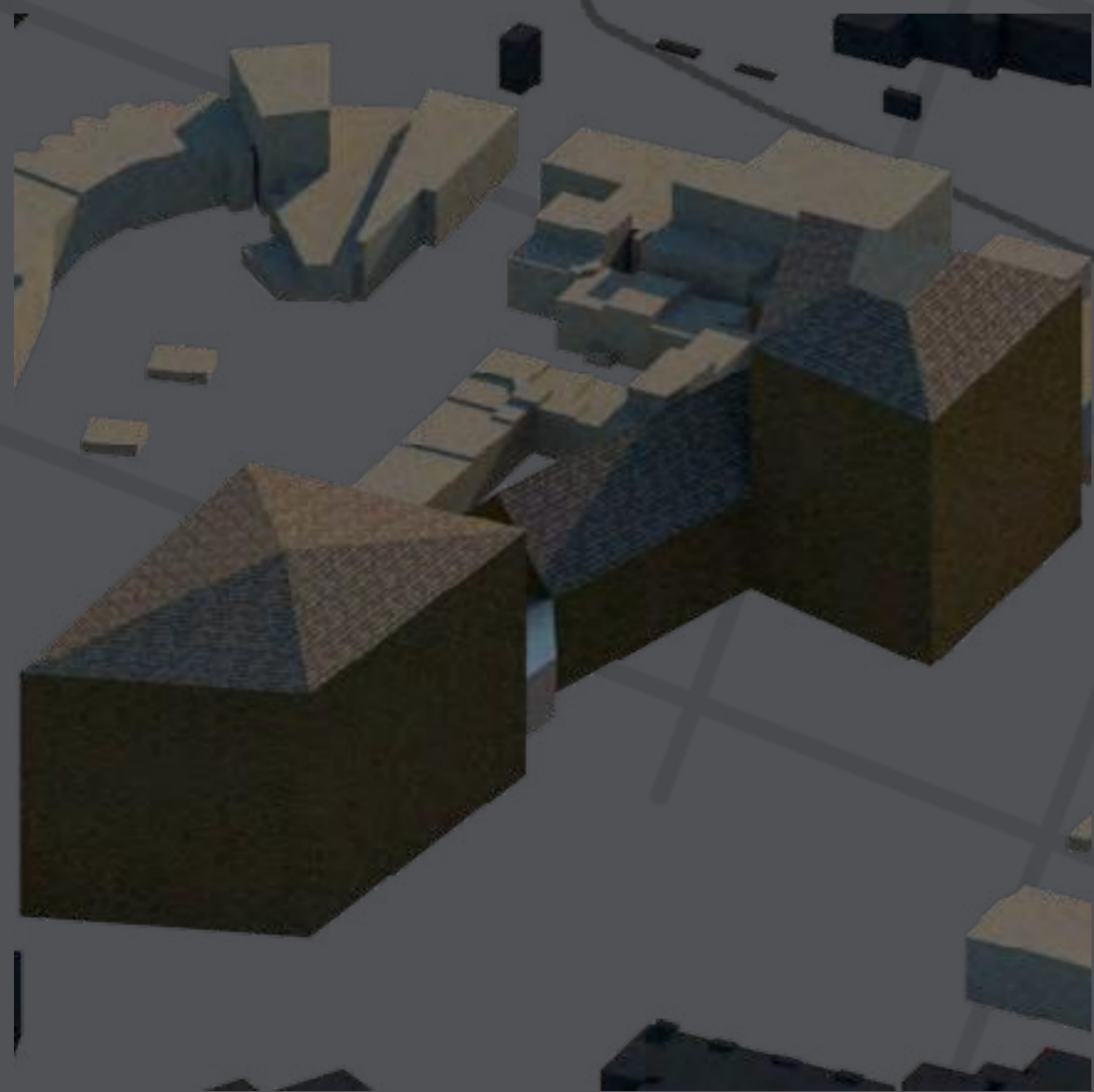
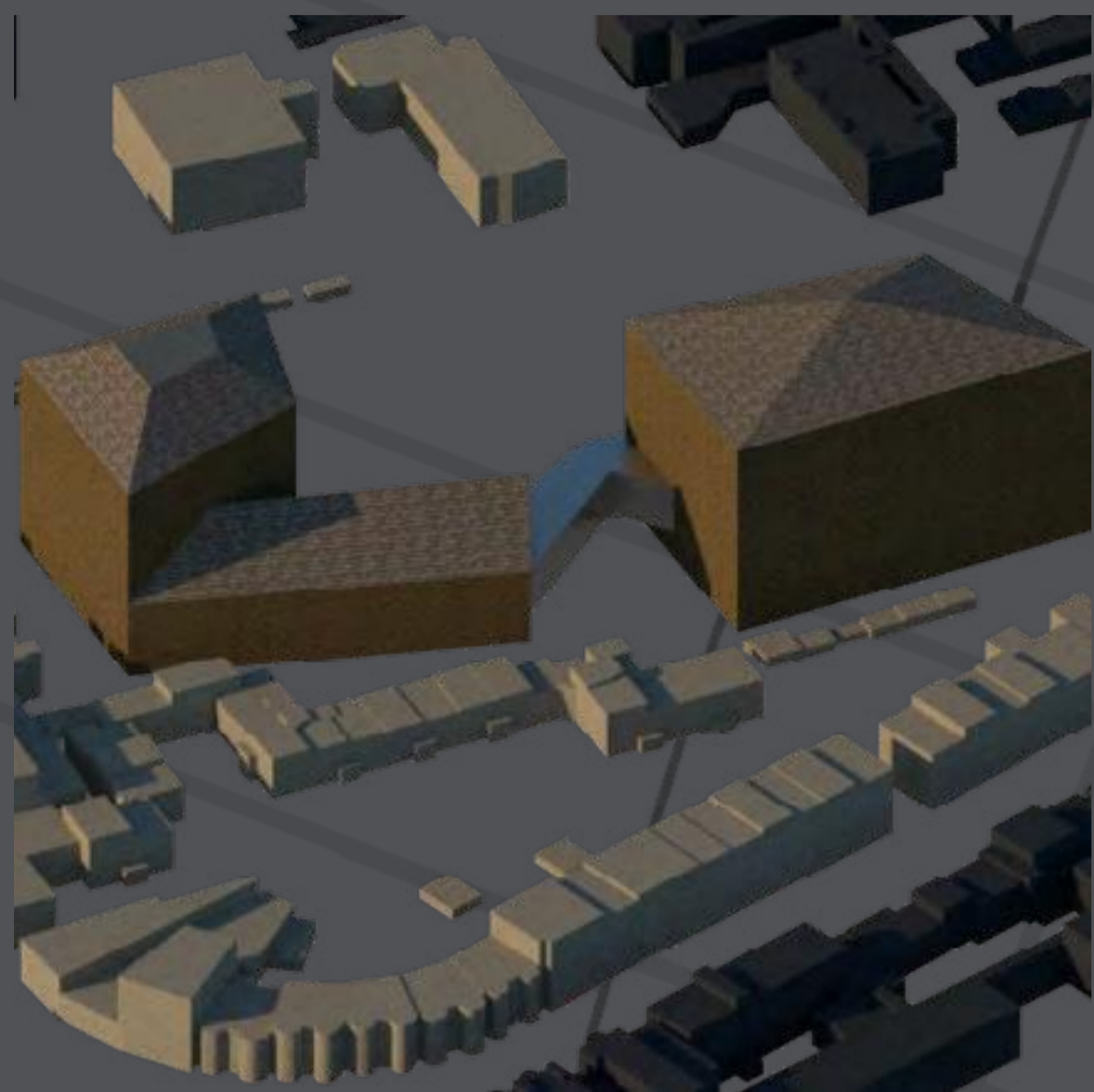
My approach to landscaping my site was to turn the river into a place 'to be'. this includes gentrifying the immediate areas surrounding it and encouraging 'riverside walks' along it, which provides a natural and inviting corridor for people to explore the Northern half of central Winchester.

I will also be removing many of the unused buildings, as well as the bus station workers building, as i plan to relocate them.



DESIGN

DEVELOPMENT

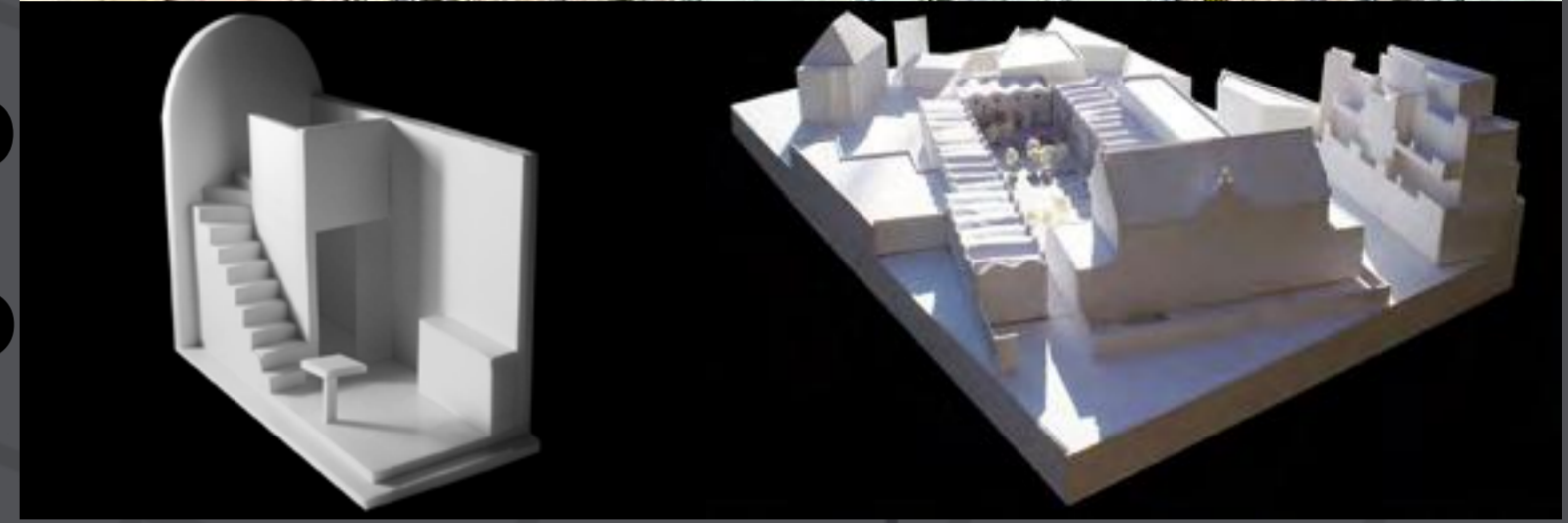


PETER BARBER

-CREATING 'STREETS'



HOLMES ROAD STUDIO



DONNYBROOK QUARTER

A HUGE ASPECT OF MANY OF PETER BARBER'S ARCHITECTURE PROJECTS IS FOSTERING A COMMUNITY WITHIN THE SPACE PROVIDED. HE DEVELOPS CREATIVE WAYS OF PROVIDING THE RIGHT ENVIRONMENT TO ENCOURAGE PEOPLE TO SOCIALISE AND CREATE COMMUNITITES.

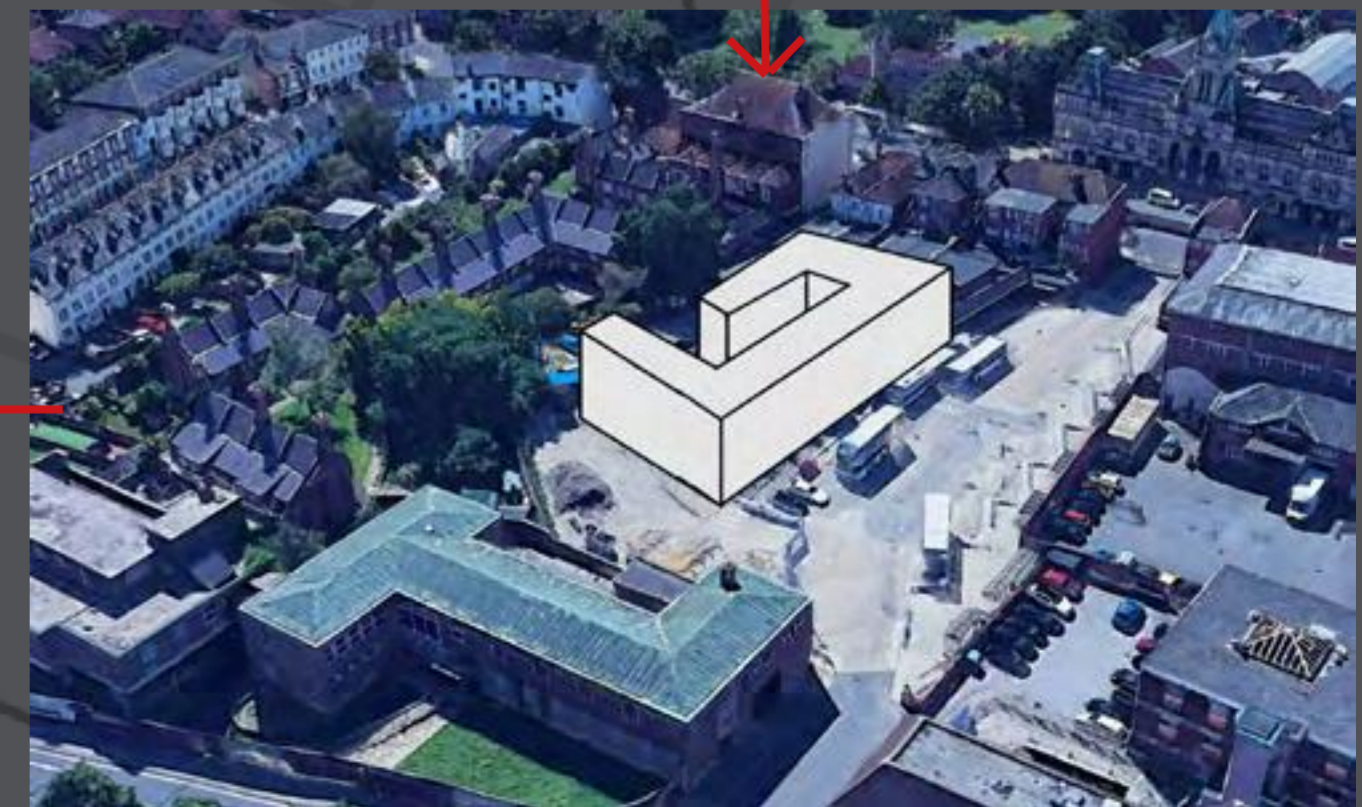
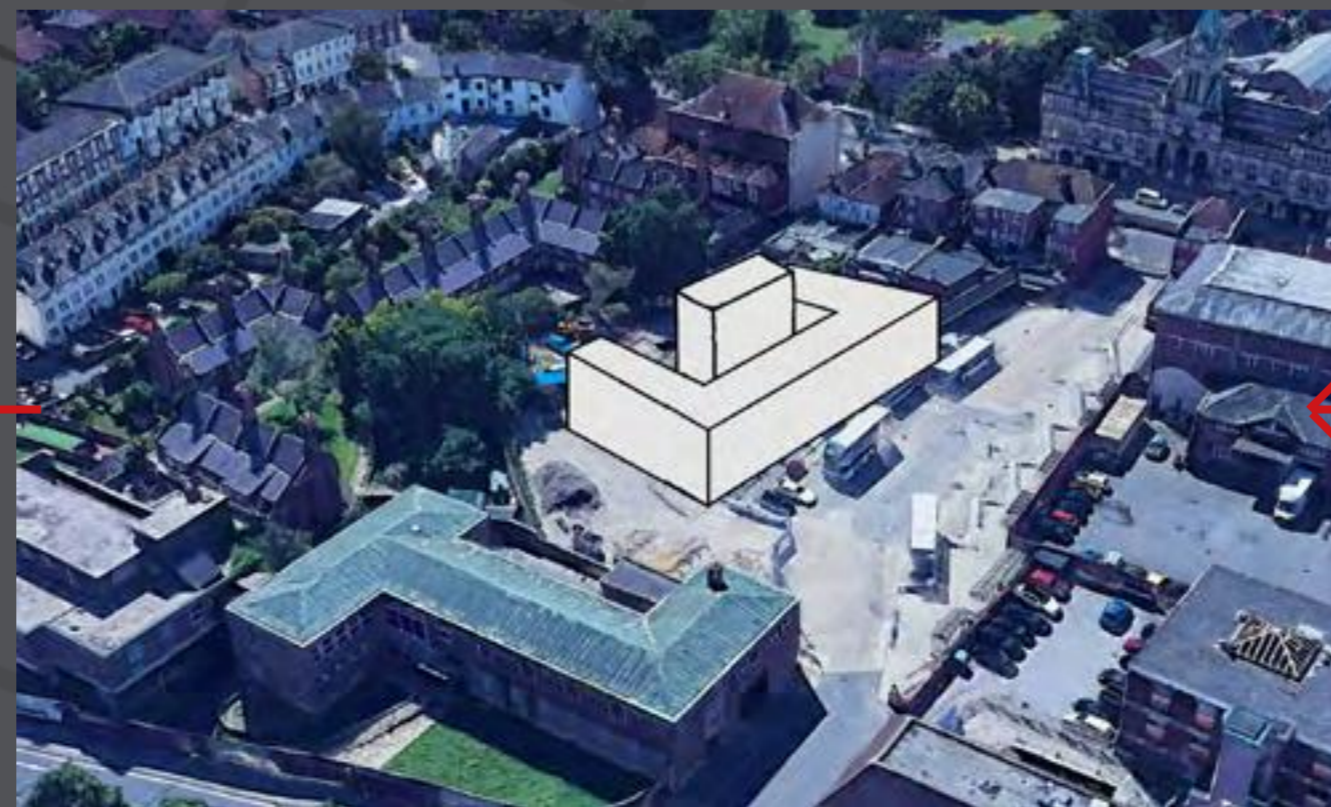
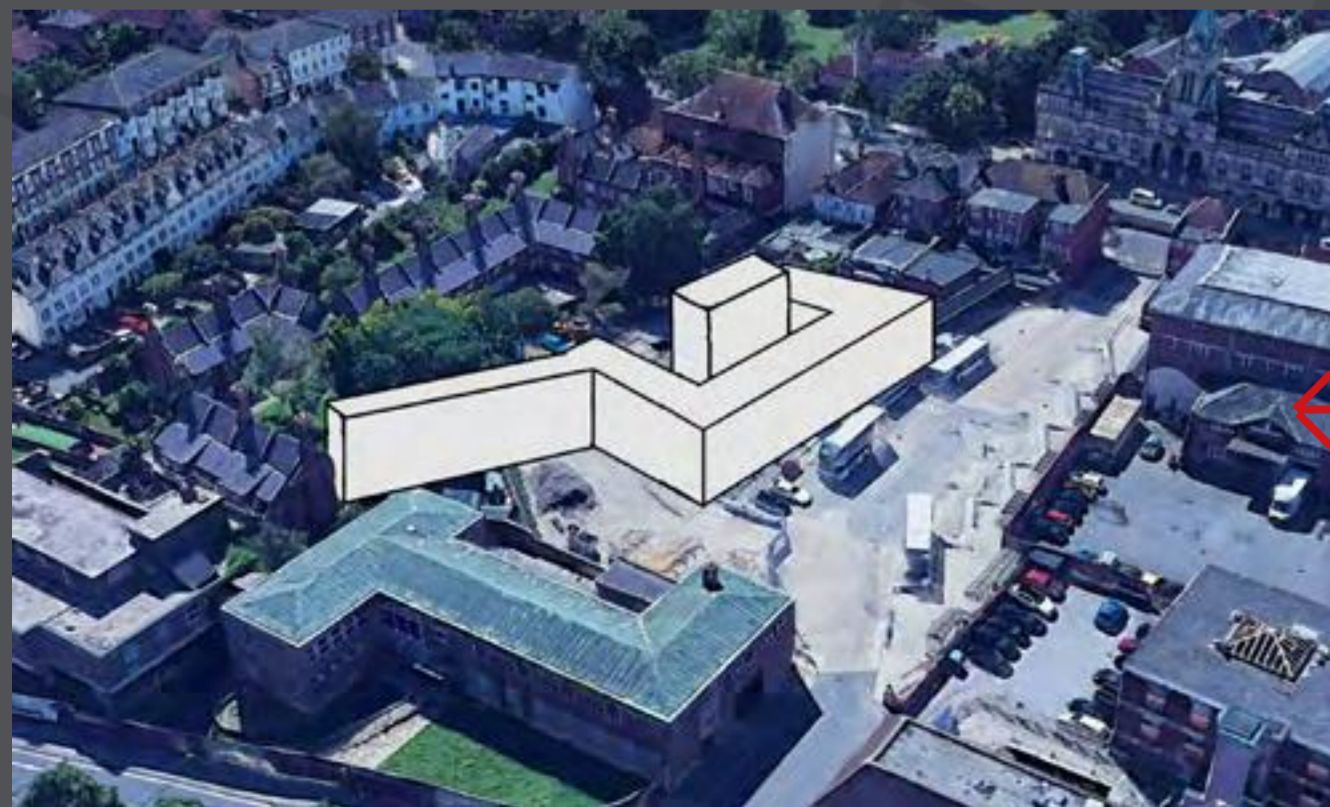
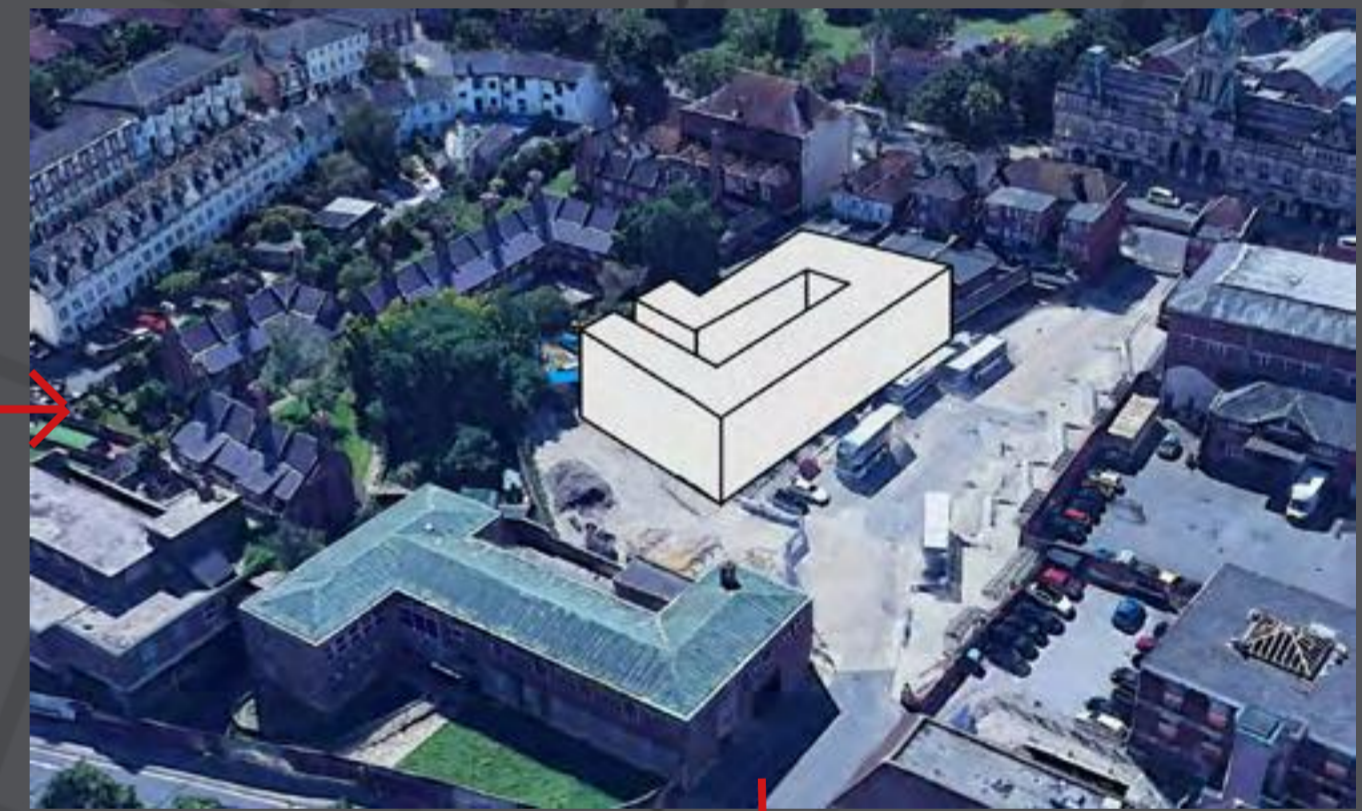
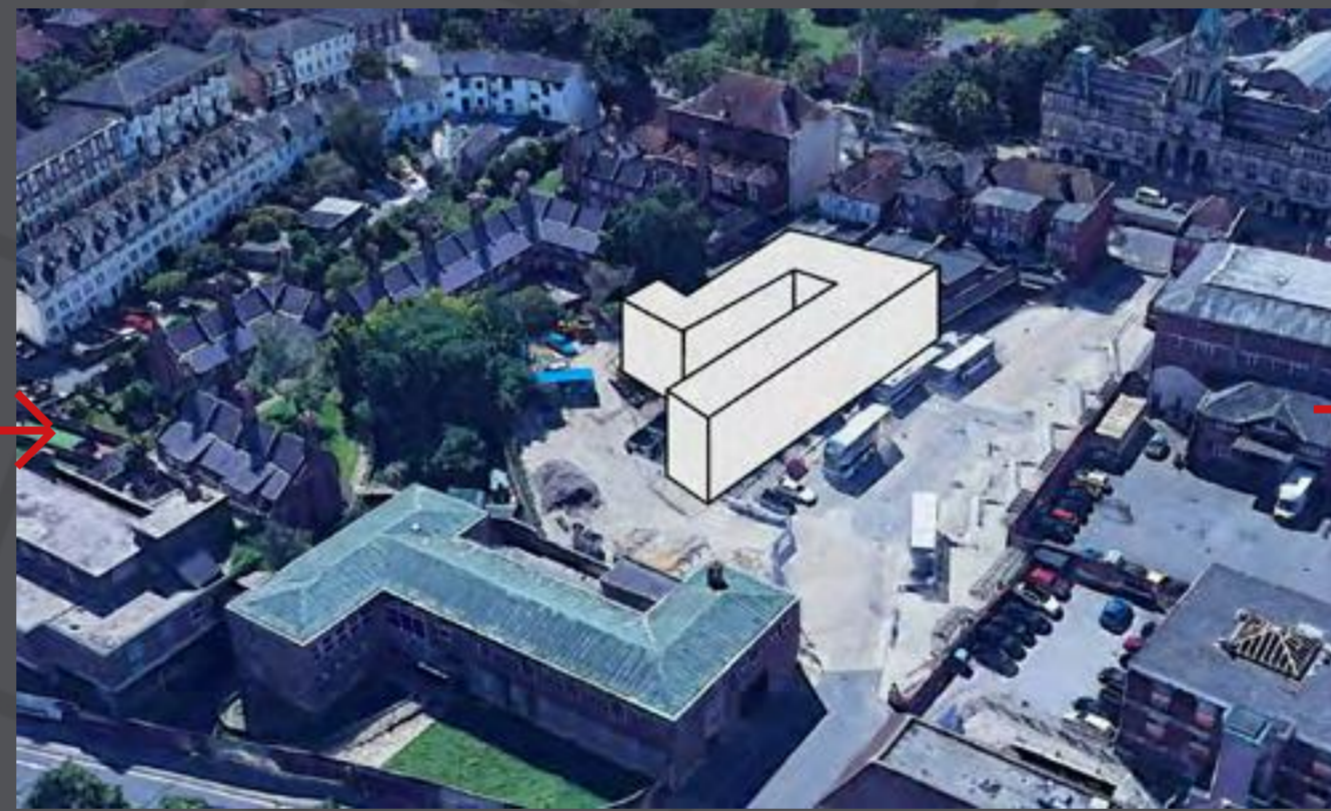
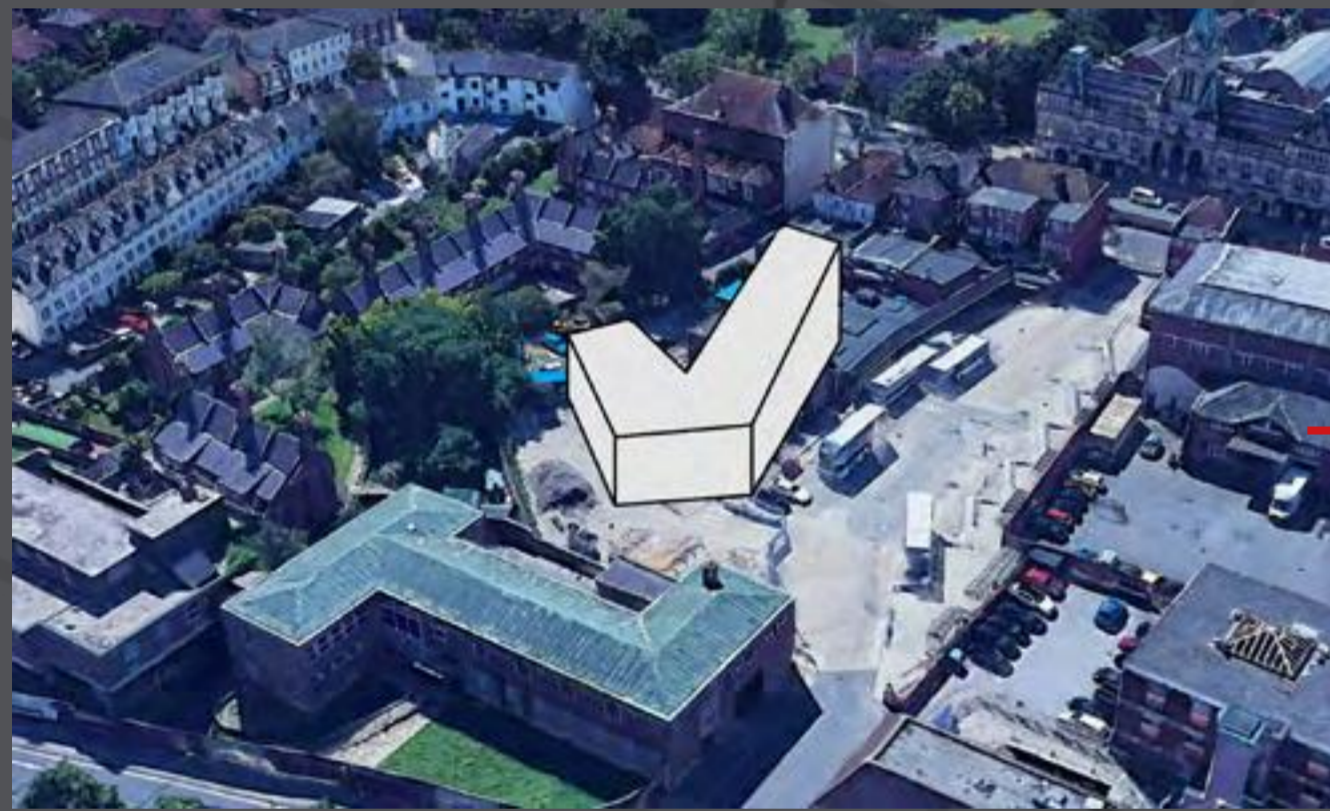
PETER BARBER OFTEN DESIGNS MAISONNETTE APARTMENTS IN ORDER TO DEAL WITH SPATIALLY LIMITED SITES, PROVIDING EFFICIENT SPATIAL MANAGEMENT, ADOPTING THE ATTITUDE OF BUILDING UP, NOT OUT.



WOODMORE MEWS

DESIGN 2 DEVELOPMENT

- MASSING



DESIGN 2

DEVELOPMENT

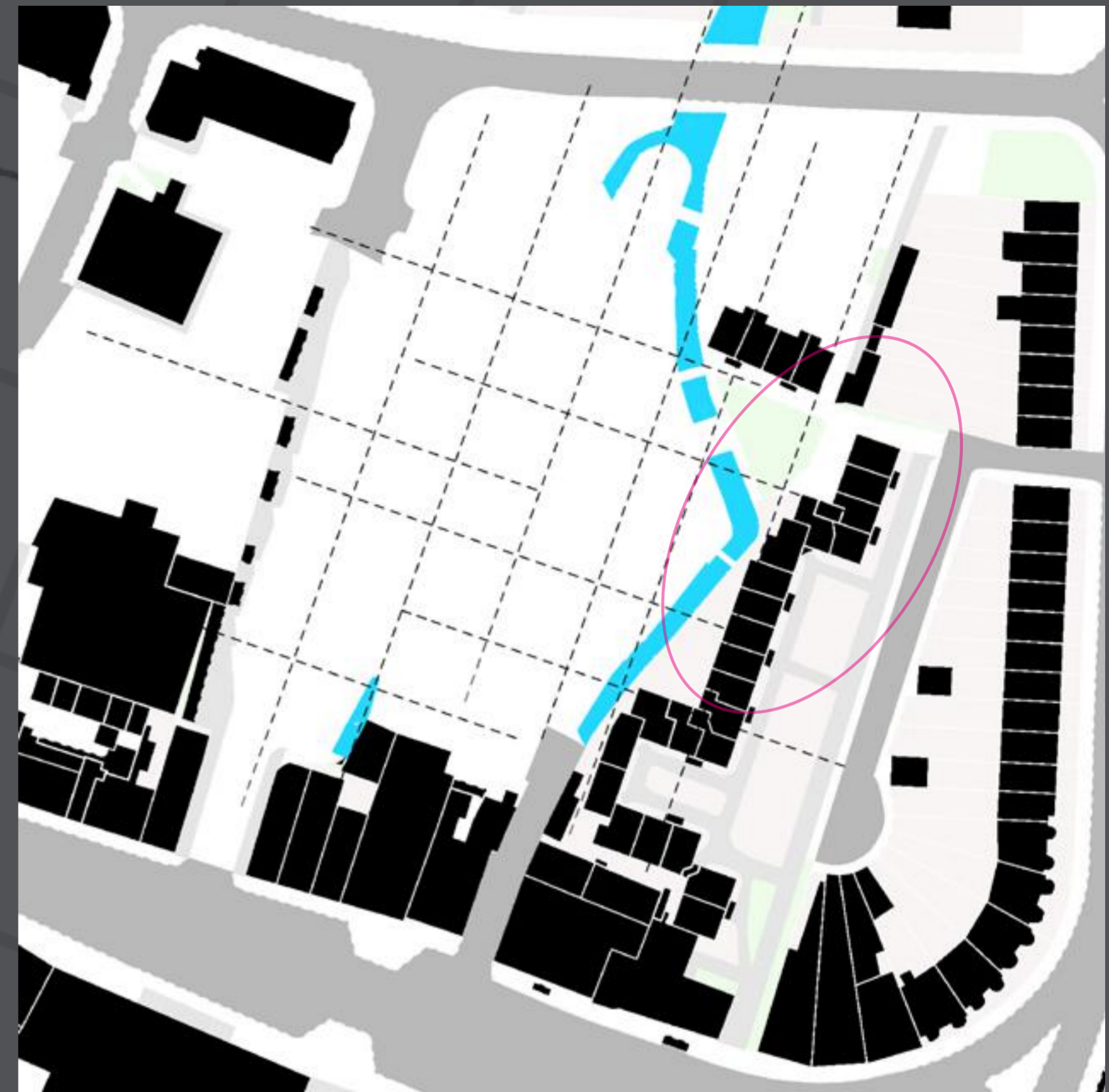
THE ALMSHOUSE SISTER BUILDING'S MASSING WILL PROVIDE A SOFT DIVIDE BETWEEN THE PRIVATE RESIDENCE OF THOSE LIVING IN THE ALMSHOUSES AND THE ENTIRELY COMMUNAL EVENT SPACE ON THE REST OF THE SITE.

MY SISTER BUILDING ALSO CONNECTS TO THE LONE BUILDING NORTH IN THE SITE TO COMPLETE THE ALMSHOUSE COURTYARD.

IVE DECIDED TO ADOPT THE GRID OF THE ALMSHOUSES, SPEAKING TO THE EXISTING ARCHITECTURAL LANGUAGE OF THE SITE.

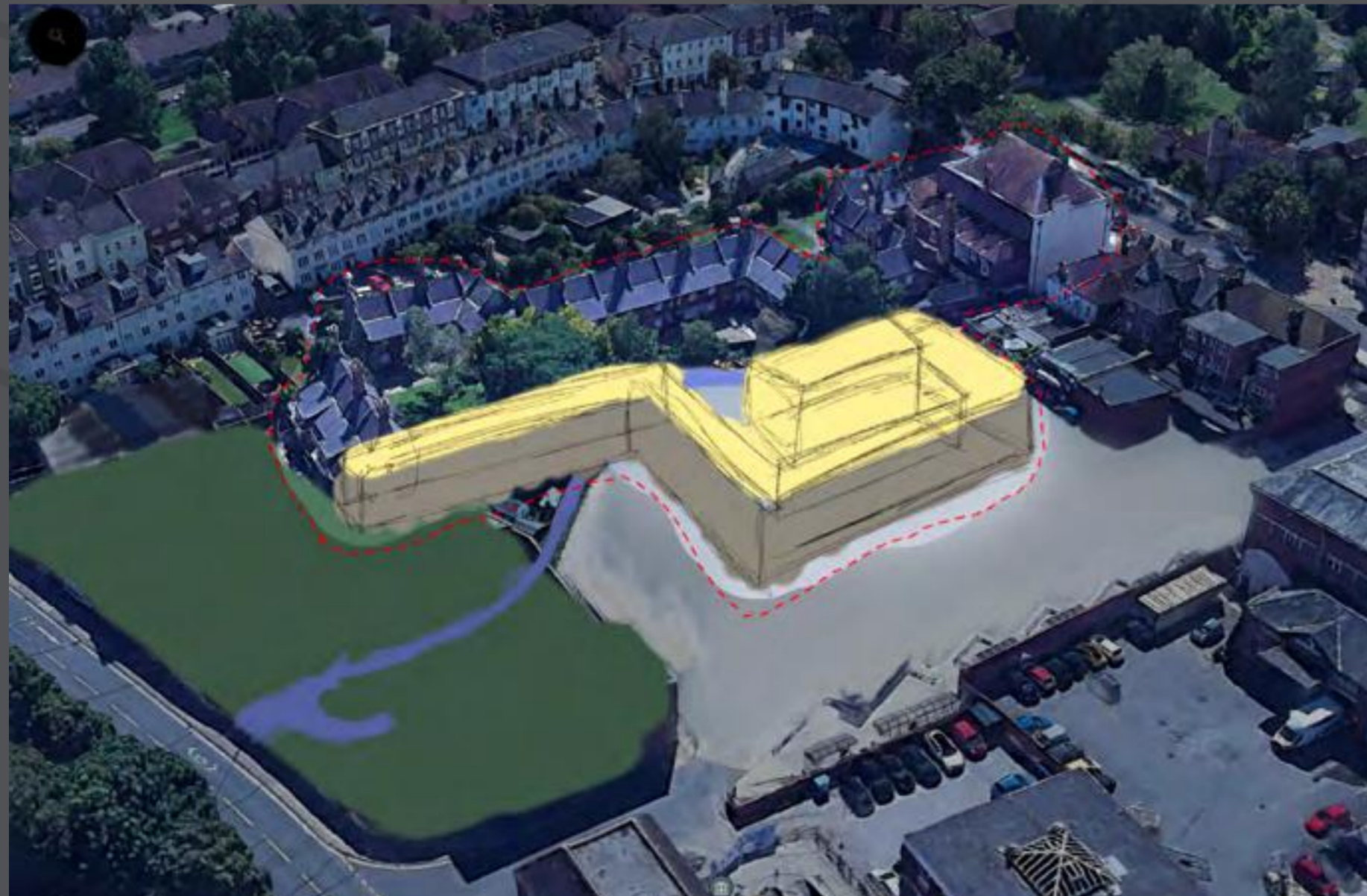
MY STRUCTURE WILL ALSO BE LAYING NEXT TO, AND COMPLEMENTING THE RIVER SITUATED BETWEEN IT AND THE EXISTING ALMSHOUSE.

DUE TO THE PRIVATE NATURE OF ALMSHOUSES, I WILL BE DESIGNING IT IN A WAY THAT PROVIDES A FEELING OF SECURITY FROM THE MORE PUBLIC, LARGE COMMUNAL AREA THAT WILL BE OCCUPYING THE REST OF THE SITE.



THIS CONFIGURATION OF DWELLINGS IS MEANT TO PROVIDE THE ENVIRONMENT CONDUSIVE TO CREATING A COMMUNITY WITHIN THE RESIDENCE.

THERE IS A VERIETY OF GROUND FLOOR, UPPER FLOOR, 1 STOREY AND MAISONETTE APARTMENTS, ALL OF WHICH ARE WHEELCHAIR ACCESSABLE



ALMS HOUSE STUDIES & COURTYARDS



ST CROSS ALMSHOUSE

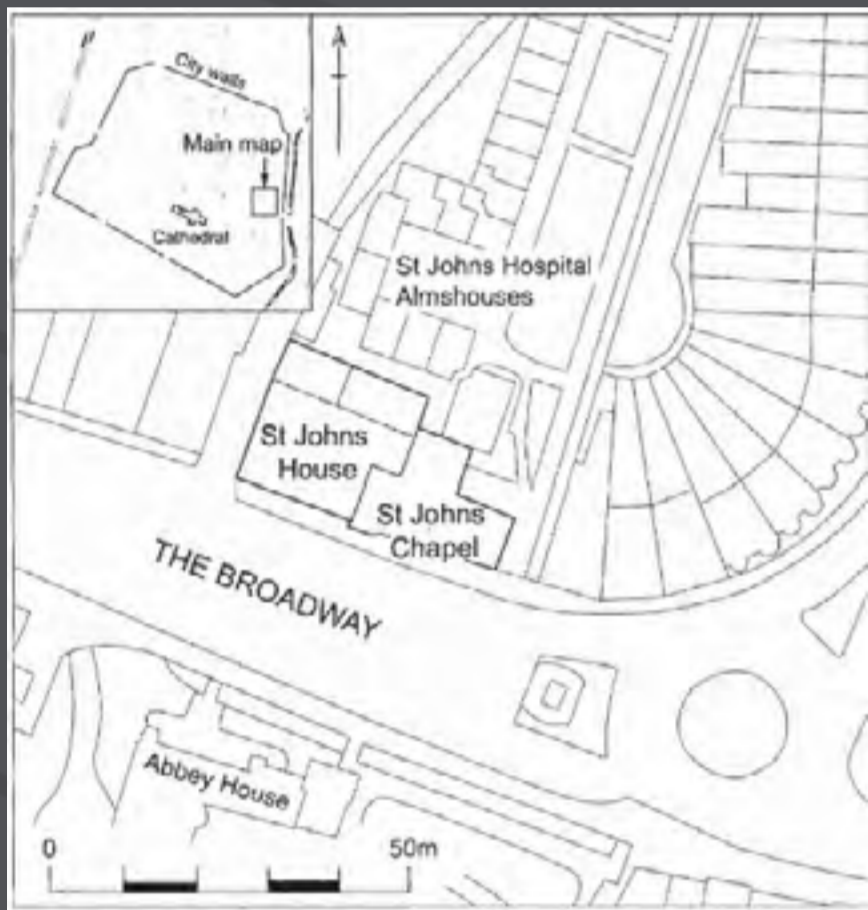
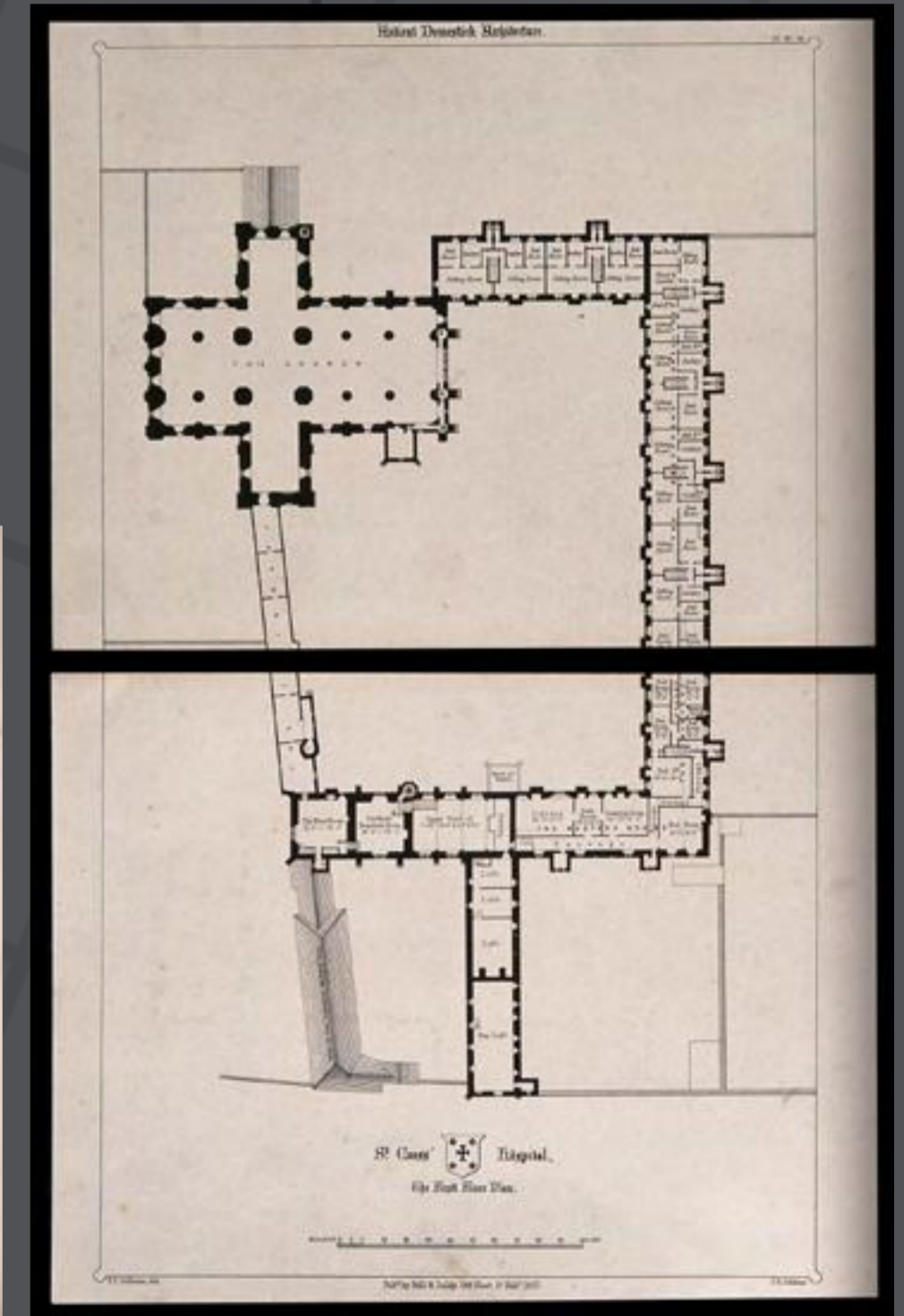
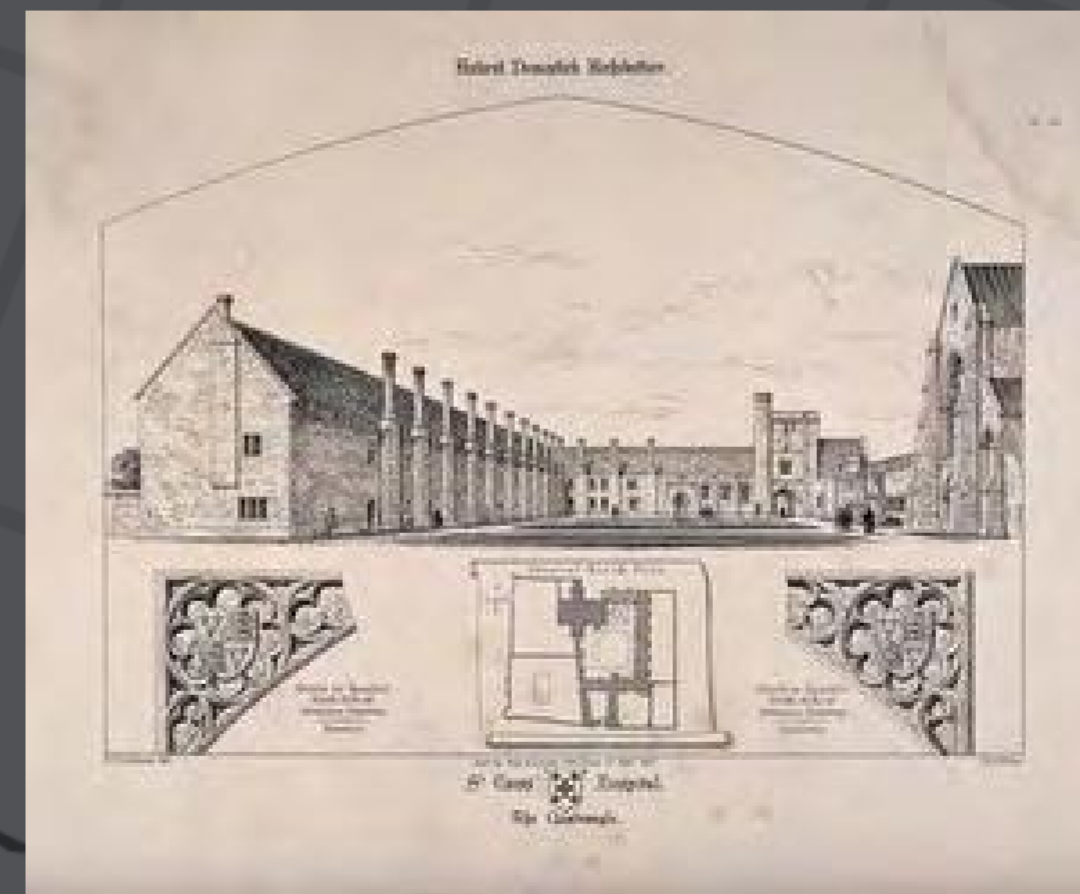


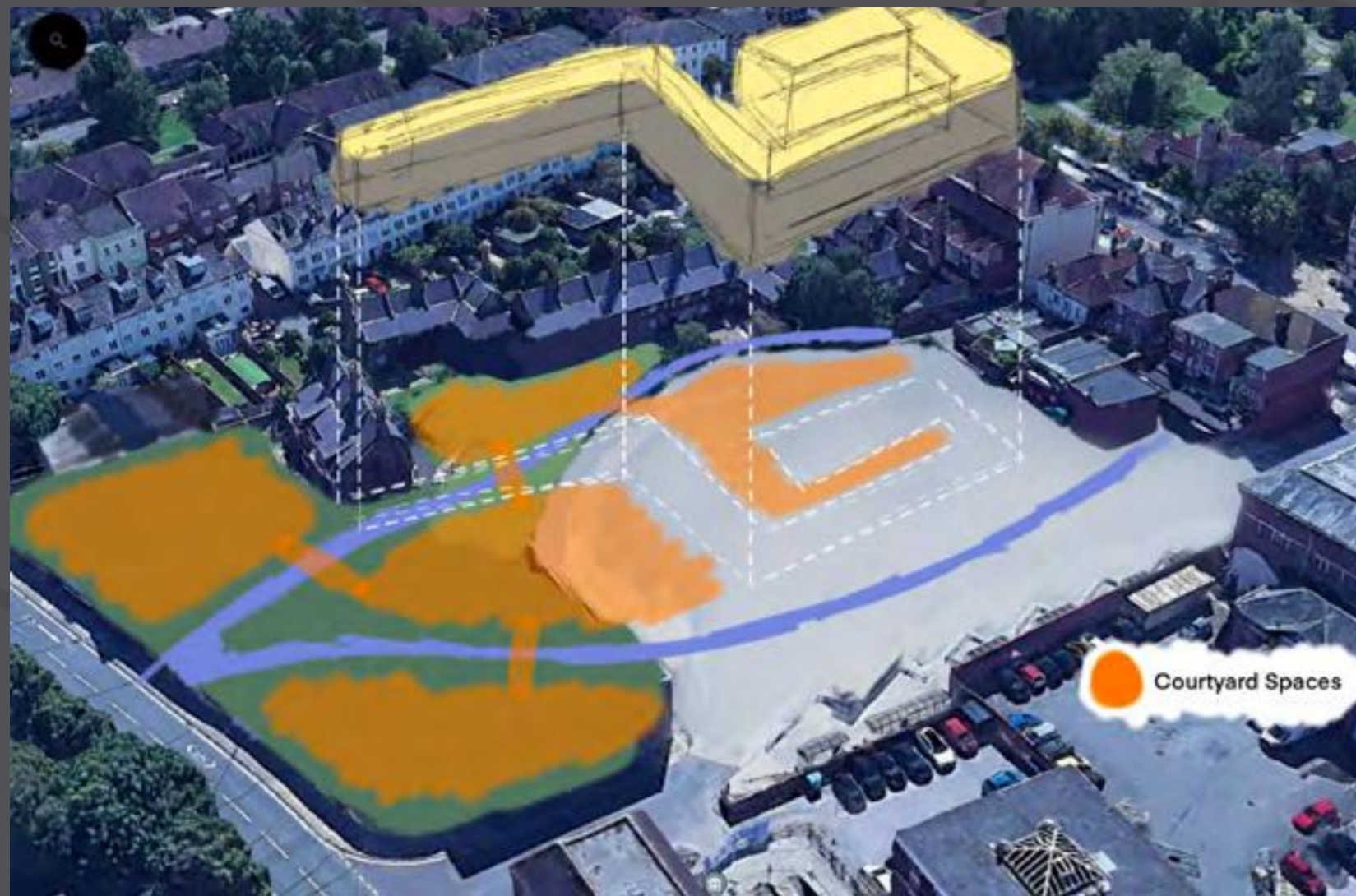
Fig. 1 St John's Hospital - location plan



ST JOHNS
ALMSHOUSE



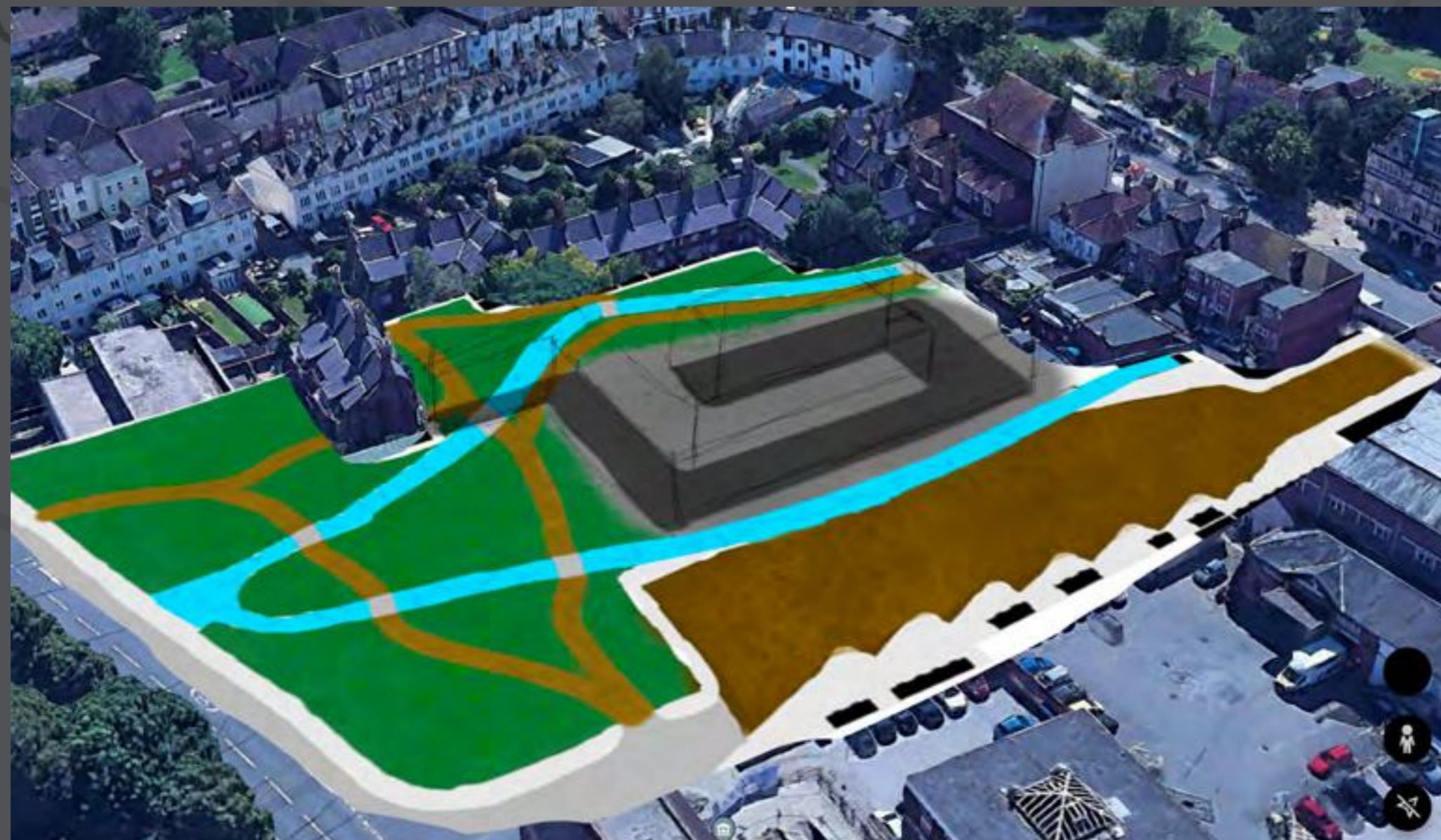
LANDSCAPING DEVELOPMENT



A FOCUS OF MY LANDSCAPING IS CREATING COURTYARD SPACES IN HOMAGE TO THE COMMONLY FOUND COURTYARDS ACROSS CENTRAL WINCHESTER, AS WELL AS WINCHESTER COLLEGE.

I AM ALSO EXPLORING THE DIFFERENCE BETWEEN (AND BOUNDARIES OF) PUBLIC AND PRIVATE SPACES. THE EAST RIVER IS TECHNICALLY PUBLIC, BUT BEING A SMALLER, MORE INTIMATE SPACE, THIS MILDLY DISCOURAGES EXCESSIVE FOOTFALL ACROSS THE MAIN ENTRANCE OF THE ALMSHOUSE.

I HAVE ALSO CONVERTED MOST OF THE REMAINING SITE INTO VARIOUS PARKS AND EVENTS SPACES FOR COMMUNITIES TO MEET UP TOGETHER AND SOCIALISE.



I HAVE INTRODUCED A SECOND RIVER STREAM THAT WAS PREVIOUSLY COVERED UP, PROVIDING ANOTHER OPPURTUNITY TO FOLLOW THE RIVER FURTHER INTO THE NORTH OF WINCHESTER.

THE PARKING REMAINS AS IT WAS, BUT IS NOW A LESS HARSH, MORE INFORMAL GRAVEL MATERIAL, MEANT FOR ON-FOOT TRAVERSAL AS WELL AS CAR PARKING.

THIS CHANGE TO THE PARKING AREA ALSO MAKES IT LESS INTIMIDATING TO CROSS OVER TO THE SMALL RETAIL PARK WEST OF MY MAIN SITE, SITUATED UNDERNEATH THE MAIN CITY MONORAIL STATION.

ST MAXIMILIAN ALMSHOUSE

SITE INTERACTION & INTEGRATION:

THERE ARE A NUMBER OF RIVERS RUNNING THROUGH MY SITE WHICH HAVE PREVIOUSLY BEEN COVERED, I WILL BE UNCOVERING THESE AND USING ONE OF THEM AS A SOFT BARRIER BETWEEN MY DWELLINGS AND THE PUBLIC SPACE.

THERE IS AN ALMSHOUSE COMPLEX NEXT TO THE SITE, SEPERATED FROM THE SITE BY AN EXISTING RIVER. I WILL BE MIRRORING THE ALMSHOUSES, EXTENDING THEIR PROPERTY OVER THE RIVER AND LINKING THEM TOGETHER, BRINGING THE PROPERTY INTO THE SITE BOUNDARY.

DUE TO THE NATURE OF ALMSHOUSES, THE BUILDING REQUIRES A DEGREE OF PRIVACY. THE SITE IS LOCATED WITHIN THE CENTRE OF THE CITY SO FOOTFALL WILL BE HIGH IN THE AREA, THIS WILL SERVE THE MONORAIL STATION AND COMMUNITY CENTRE WELL, WITH A HIGH NUMBER OF VISITORS AND PASSERS-BY.

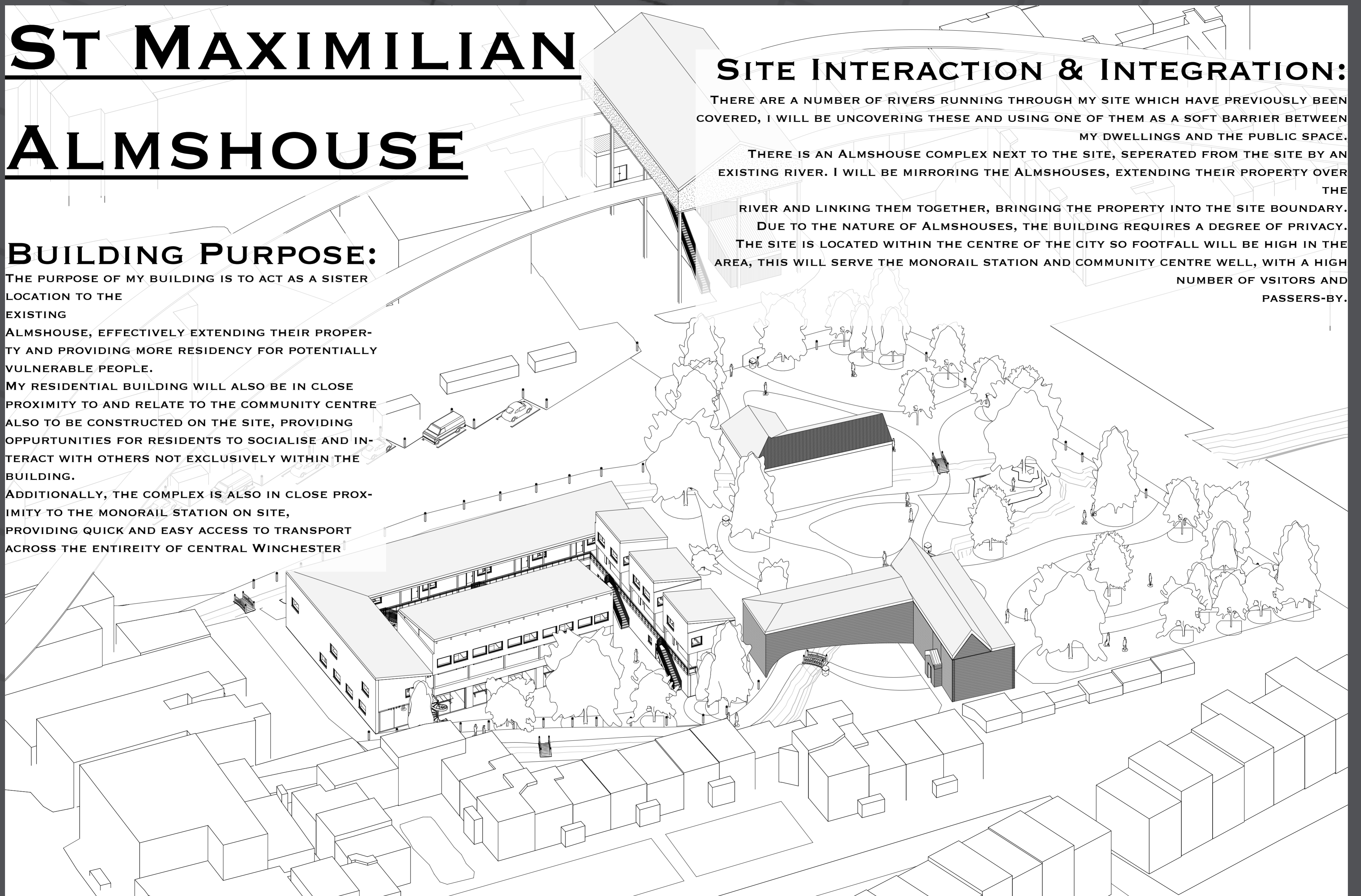
BUILDING PURPOSE:

THE PURPOSE OF MY BUILDING IS TO ACT AS A SISTER LOCATION TO THE EXISTING

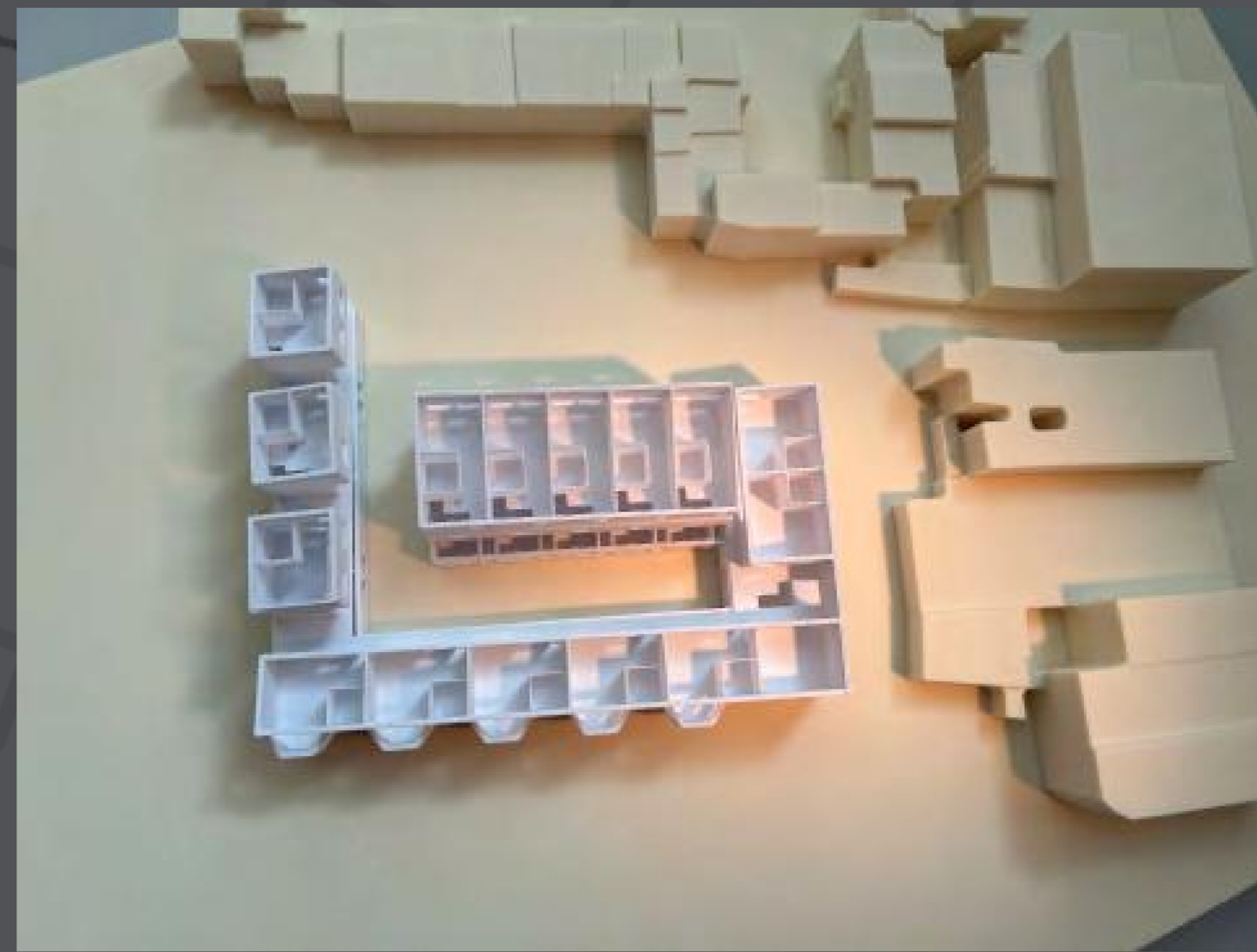
ALMSHOUSE, EFFECTIVELY EXTENDING THEIR PROPERTY AND PROVIDING MORE RESIDENCY FOR POTENTIALLY VULNERABLE PEOPLE.

MY RESIDENTIAL BUILDING WILL ALSO BE IN CLOSE PROXIMITY TO AND RELATE TO THE COMMUNITY CENTRE ALSO TO BE CONSTRUCTED ON THE SITE, PROVIDING OPPURTUNITIES FOR RESIDENTS TO SOCIALISE AND INTERACT WITH OTHERS NOT EXCLUSIVELY WITHIN THE BUILDING.

ADDITIONALLY, THE COMPLEX IS ALSO IN CLOSE PROXIMITY TO THE MONORAIL STATION ON SITE, PROVIDING QUICK AND EASY ACCESS TO TRANSPORT ACROSS THE ENTIREITY OF CENTRAL WINCHESTER



PHYSICAL MODEL





PROJECT		
Winchester Utopia		
TITLE		
Site Plan		
CLIENT		
Owner		
DRAWN BY	CHECKED BY	DATE
Author	Checker	06.03.2024
SCALE (@A2)	PROJECT NUMBER	
1 : 500	Project Number	
DRAWING NUMBER	REV	
A101		



PROJECT		
Winchester Utopia		
TITLE		
Ground Floor Plan		
CLIENT		
Owner		
DRAWN BY	CHECKED BY	DATE
Author	Checker	06.03.2024
SCALE (@A2)	PROJECT NUMBER	
1 : 200	Project Number	
DRAWING NUMBER	REV	
A102		

UP2068014

14.05.2024 14:46:30



PROJECT		
Winchester Utopia		
TITLE		
1st Floor Plan		
CLIENT		
Owner		
DRAWN BY	CHECKED BY	DATE
Author	Checker	06.03.2024
SCALE (@A2)	PROJECT NUMBER	
1 : 200	Project Number	
DRAWING NUMBER	REV	
A103		

UP2068014

14.05.2024 14:43:02



UP2068014



PROJECT		
Winchester Utopia		
TITLE		
2nd Floor Plan		
CLIENT		
Owner		
DRAWN BY	CHECKED BY	DATE
Author	Checker	06.03.2024
SCALE (@A2)	PROJECT NUMBER	
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DRAWING NUMBER	REV	
A104		

14.05.2024 14:49:40



1 West
1 : 200



2 North Elevation
1 : 200



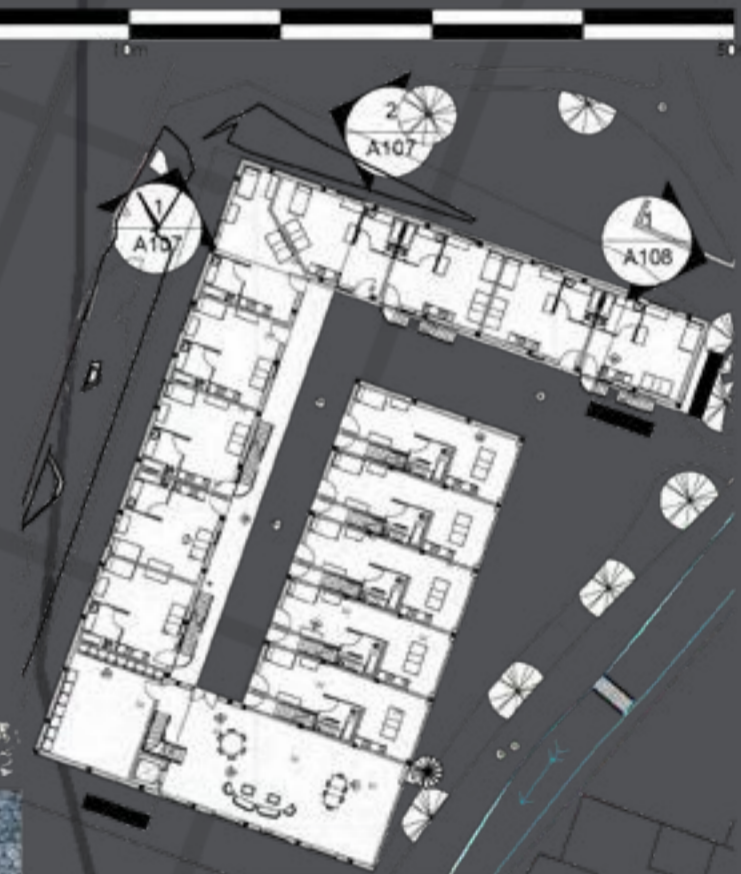
3 East Elevation
1 : 200



PROJECT		
Winchester Utopia		
TITLE		
Elevations		
CLIENT		
Owner		
DRAWN BY	CHECKED BY	DATE
Author	Checker	06.03.2024
SCALE (@A2)		PROJECT NUMBER
1 : 200		Project Number
DRAWING NUMBER	REV	
A106		



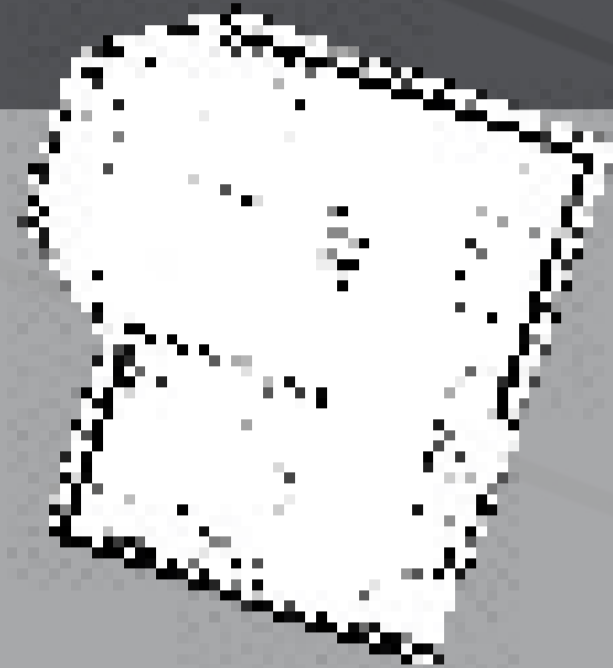
2 Row 2 West Facing
1 : 100



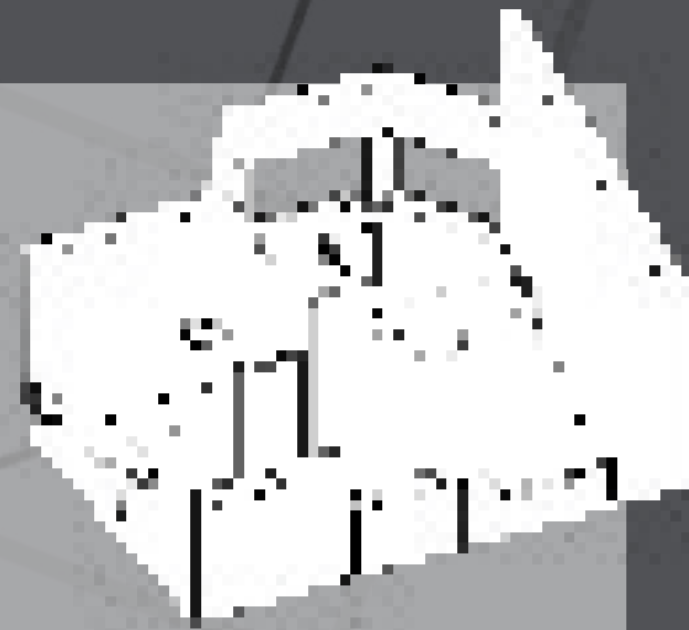
1 Row 1 North Facing
1 : 100

PROJECT		
Winchester Utopia		
TITLE		
Row Sections		
CLIENT		
Owner		
DRAWN BY	CHECKED BY	DATE
Author	Checker	06.03.2024
SCALE (@A2)		PROJECT NUMBER
As indicated		Project Number
DRAWING NUMBER	REV	
A107		

DWELLING TYPOLOGIES



5 Room Type E



6 Room Type E Axo



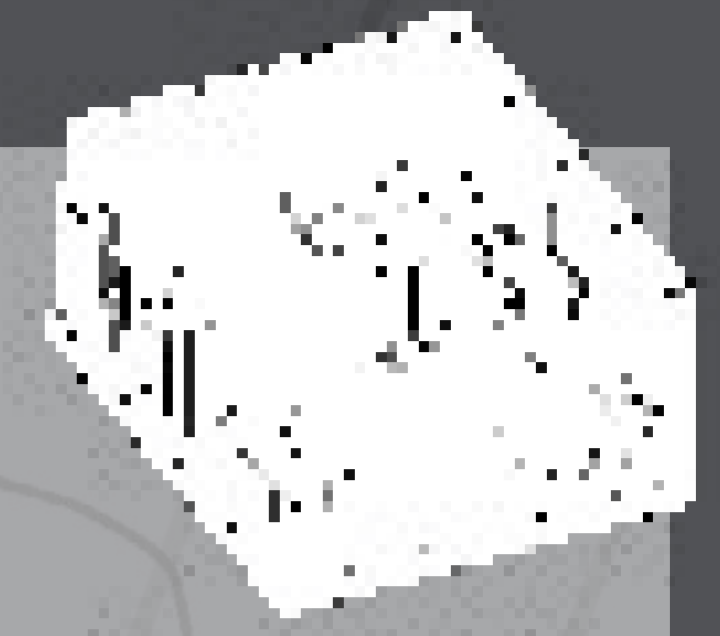
3 Room Type B



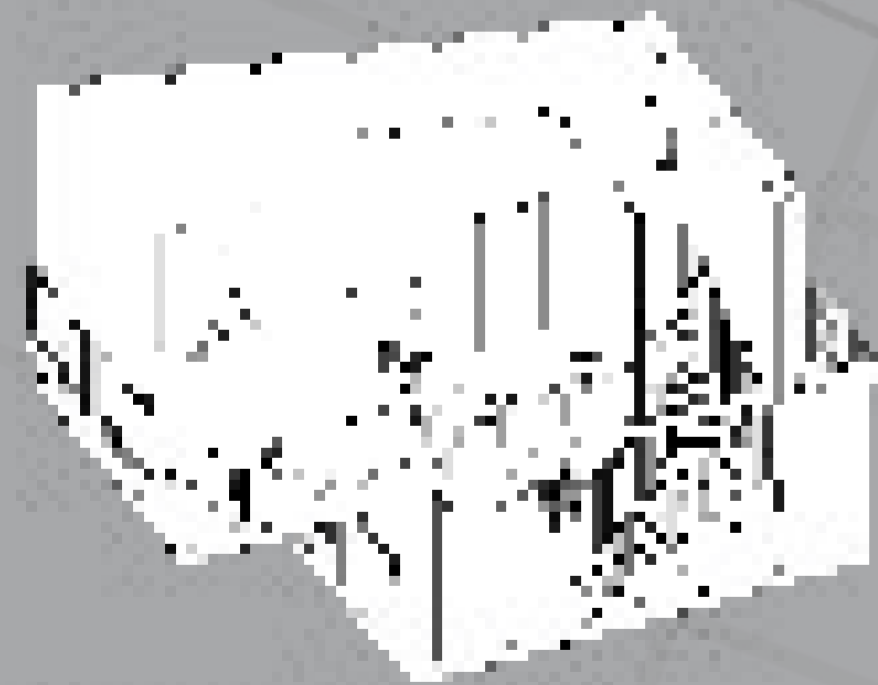
4 Room Type B Axo



1 Room Type A



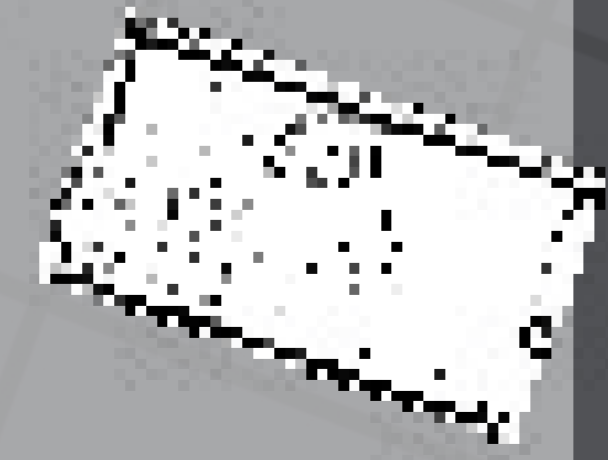
2 Room Type A Axo



8 Room Type F Axo



10 Room Type F-2



7 Room Type F-1



12 Room Type H-2



9 Room Type H Axo

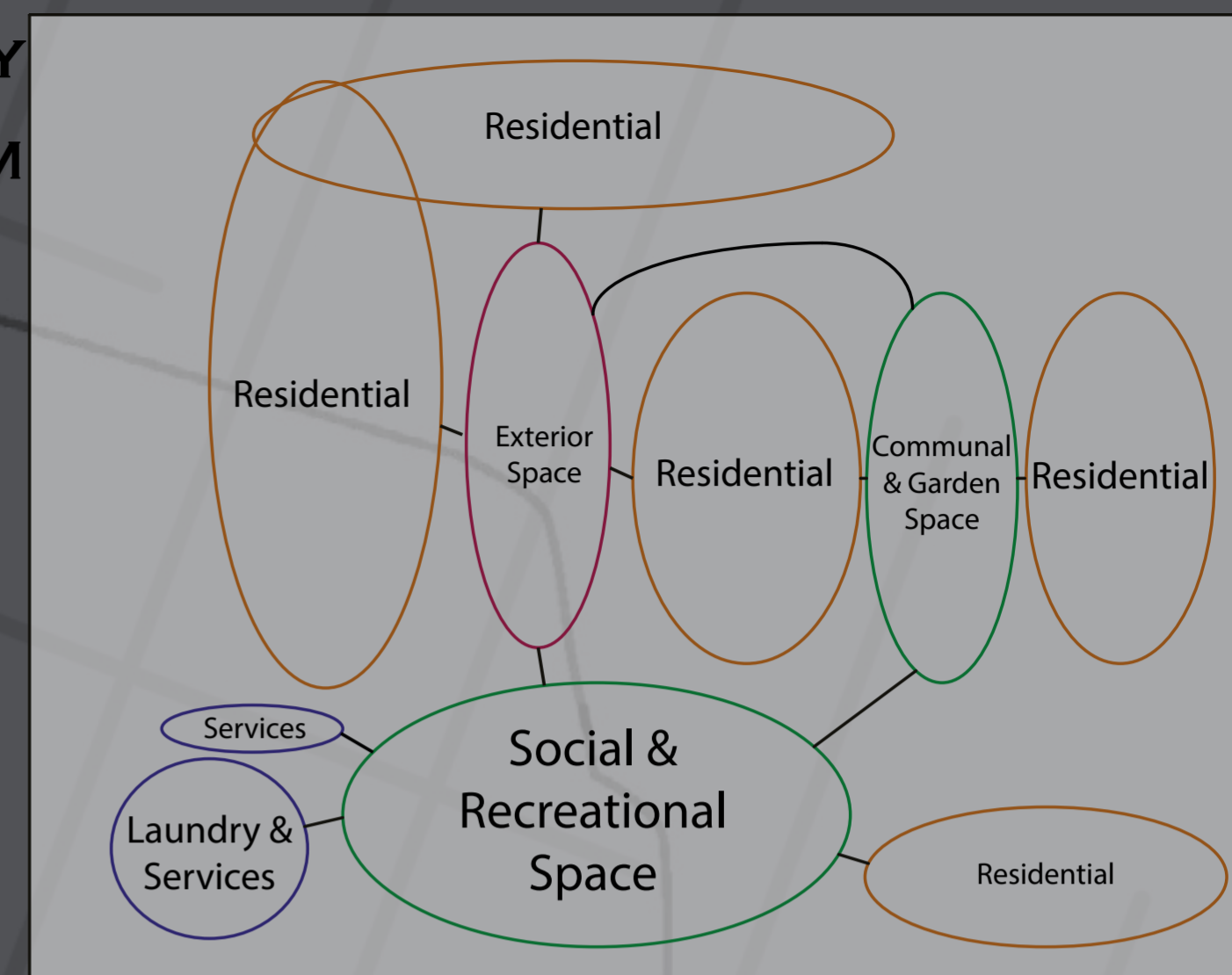


11 Room Type H-1

Room Type	Volume (m³)	Area (m²)	Height (m)
Room Type A	100	100	10
Room Type B	200	200	10
Room Type E	100	100	10
Room Type F-1	100	100	10
Room Type F-2	100	100	10
Room Type H-1	100	100	10
Room Type H-2	100	100	10

SCHEDULE OF ACCOMMODATION

ADJACENCY DIAGRAM



Unit Allocation	Type	Area	Floors	Furnishings	No. Users
A	Dwelling	37m ²	1	Bed, Wardrobe, Drawers, Kitchen Unit, Table, Bathroom	1
B	Dwelling	37m ²	1	Bed, Wardrobe, Drawers, Kitchen Unit, Table, Bathroom	1
C	Recreational Space	114m ²	1	Chairs, Lounge Chairs, TV, Table	Any
D	Laundry/ Services	46m ²	1	Washing Machines, Dryers, etc	Any
E	Dwelling	>37m ²	1	Bay, Window, Bed, Wardrobe, Drawers, Kitchen Unit, Table, Bathroom	1
F	Dwelling	58m ²	2	Bed, Wardrobe, Drawers, Kitchen Unit, Table, Bathroom	1-2
G	Dwelling	37m ²	1	Bed, Wardrobe, Drawers, Kitchen Unit, Table, Bathroom	1
H	Dwelling	58m ²	2	Bed, Wardrobe, Drawers, Kitchen Unit, Table, Bathroom	1-2

FIRE SAFETY & ACCESSABILITY

A LARGE NUMBER OF MY RESIDENTS COULD HAVE VARYING DEGREES OF PHYSICAL DISABILITY SO I HAVE ENSURED THAT EVERY RESIDENCE IS WHEELCHAIR ACCESSABLE. FIRE STAIRS AND EXIST ARE LARGELY UNIMPORTANT AS EVERY RESIDENTIAL FRONT DOOR LEADS TO AN EXTERNAL SPACE EITHER ON THE GROUND FLOOR OR CLOSE ENOUGH TO AN EXTERIOR STAIRCASE THAT LEADS TO THE GROUND FLOOR EXTERIOR.



1 Key Section
1:50

UP2068014

Escape from the ground storey

- 2.1 See Diagram 2.1a. All habitable rooms [excluding kitchens] should have either of the following.
- An opening directly onto a hall leading to a final exit.
 - An emergency escape window or door, as described in paragraph 2.10.

Escape from upper storeys a maximum of 4.5m above ground level

- 2.2 See Diagram 2.1b. Where served by only one stair, all habitable rooms [excluding kitchens] should have either of the following.
- An emergency escape window or external door, as described in paragraph 2.10.
 - Direct access to a protected stairway, as described in paragraph 2.5a.
- 2.3 Two rooms may be served by a single window. A door between the rooms should provide access to the window without passing through the stair enclosure. Both rooms should have their own access to the internal stair.

Dwellinghouses with one storey more than 4.5m above ground level

- 2.5 See Diagram 2.1c. The dwellinghouse should have either of the following.
- Protected stairway** – a stair separated by fire resisting construction (minimum REI 30) at all storeys, that complies with one of the following.
 - Extends to a final exit (Diagram 2.2a).
 - Gives access to a minimum of two ground level final exits that are separated from each other by fire resisting construction (minimum REI 30) and fire doorsets (minimum E 20) (Diagram 2.2b).
- Cavity barriers or a fire resisting ceiling (minimum EI 30) should be provided above a protected stairway enclosure (Diagram 2.3)

Requirement

Optional requirement	Limits on application
Category 3 – wheelchair user dwellings	
M4(3) optional requirement	Optional requirement M4(3)–
(1) Reasonable provision must be made for people to—	(a) may apply only in relation to a dwelling that is erected;
(a) gain access to, and	(b) will apply in substitution for requirement M4(1);
(b) use, the dwelling and its facilities.	(c) does not apply where optional requirement M4(2) applies;
(2) The provision made must be sufficient to—	(d) does not apply to any part of a building that is used solely to enable the building or any service or fitting in the building to be inspected, repaired or maintained.
(a) allow simple adaptation of the dwelling to meet the needs of occupants who use wheelchairs; or	
(b) meet the needs of occupants who use wheelchairs.	Optional requirement M4(3) (2)(b) applies only where the planning permission under which the building work is carried out specifies that it shall be complied with.

STRUCTURAL INTEGRATION

MATERIALS & TECHNOLOGY:

I WILL BE UTILISING A **PILED RAFT FOUNDATION** DUE TO MY BUILDINGS WIDE AND SHORT STATURE, AS IT DOESNT REQUIRE DEEP FOUNDATIONS. MY BUILDINGS **STRUCTURAL FRAMING** WILL BE CONSTRUCTED WITH **TIMBER** BECAUSE OF ITS SUSTAINABLE NATURE, ENERGY EFFICIENCY, DURABILITY AND EASE OF MAINTENANCE. EXTERIOR, OUTWARD-FACING WALLS WILL HAVE A **FLINT CLADDING** AS A REFERENCE TO THE HISTORIC VERNACULAR MATERIAL OF THE CITY, WHILST THE INWARD-FACING EXTERIOR WALLS WILL BE **CLAD IN OAK**, PROVIDING A SENSE OF MODERNITY WITHIN THE RESIDENCE (WITHOUT PROVOKING THE LOCALS). THE ROOF WILL BE **CLAD IN SLATE**, WITH AN INWARD PITCH COMPLEMENTING THE PRIVATE FEELING OF THE BUILDING AND PAYING HOMAGE TO HISTORIC CONSTRUCTION MATERIALS.

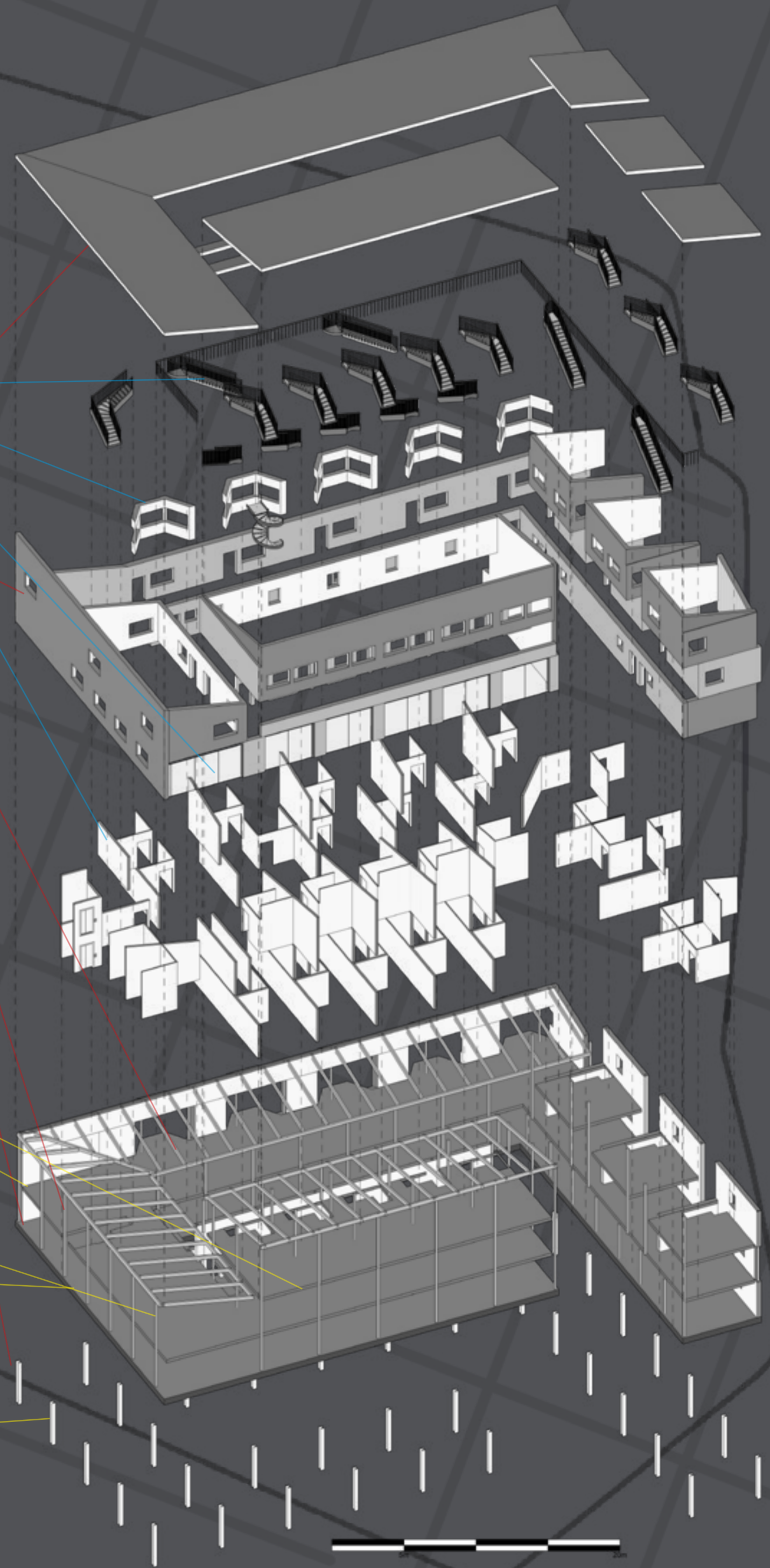
**SECONDARY
STRUCTURE:**
**PRIMARY
STRUCTURE:**

TIMBER SUSPENDED FLOOR

TIMBER STRUCTURAL
FRAMING

CONCRETE GROUND
FLOOR PLATE

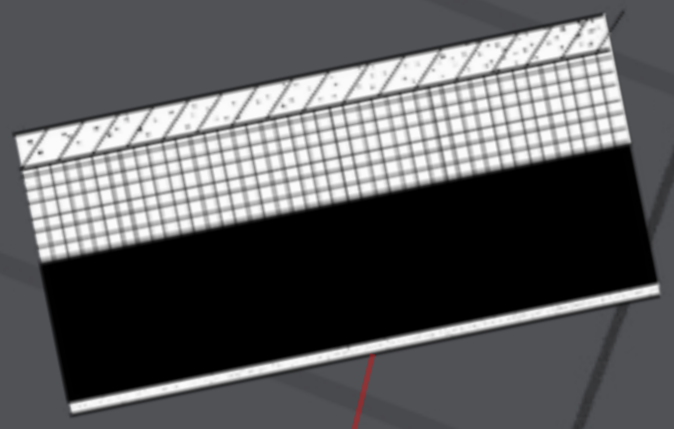
PILED RAFT
FOUNDATION



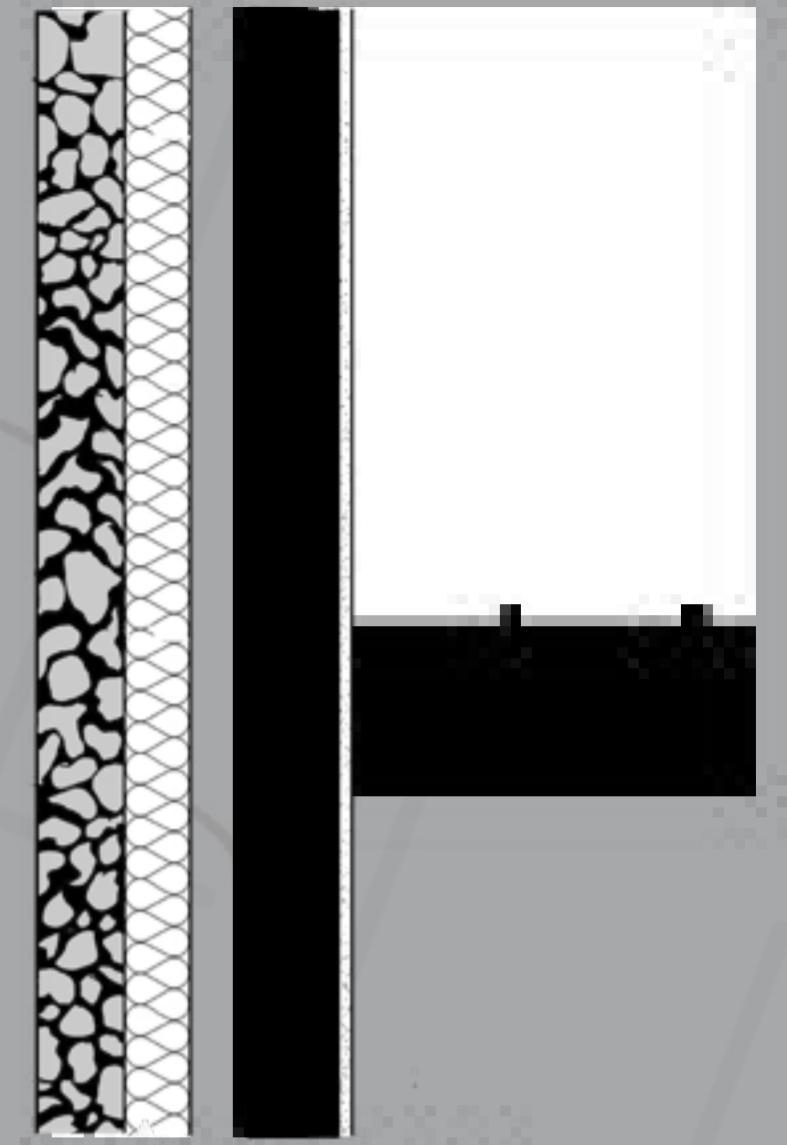
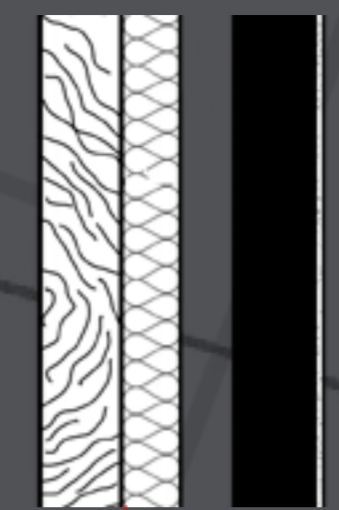
PROJECT		
Winchester Utopia		
TITLE		
Structural Axonometric		
CLIENT		
Owner		
DRAWN BY	CHECKED BY	DATE
Author	Checker	05/14/24
SCALE (@ A1)	PROJECT NUMBER	REV
	Project Number	
DRAWING NUMBER		
A110		

ROOF:

SLATE CLADDING,
RIGID INSULATION,
VAPOUR BARRIER,
TIMBER CORE,
GYPSUM PLASTER
CLADDING

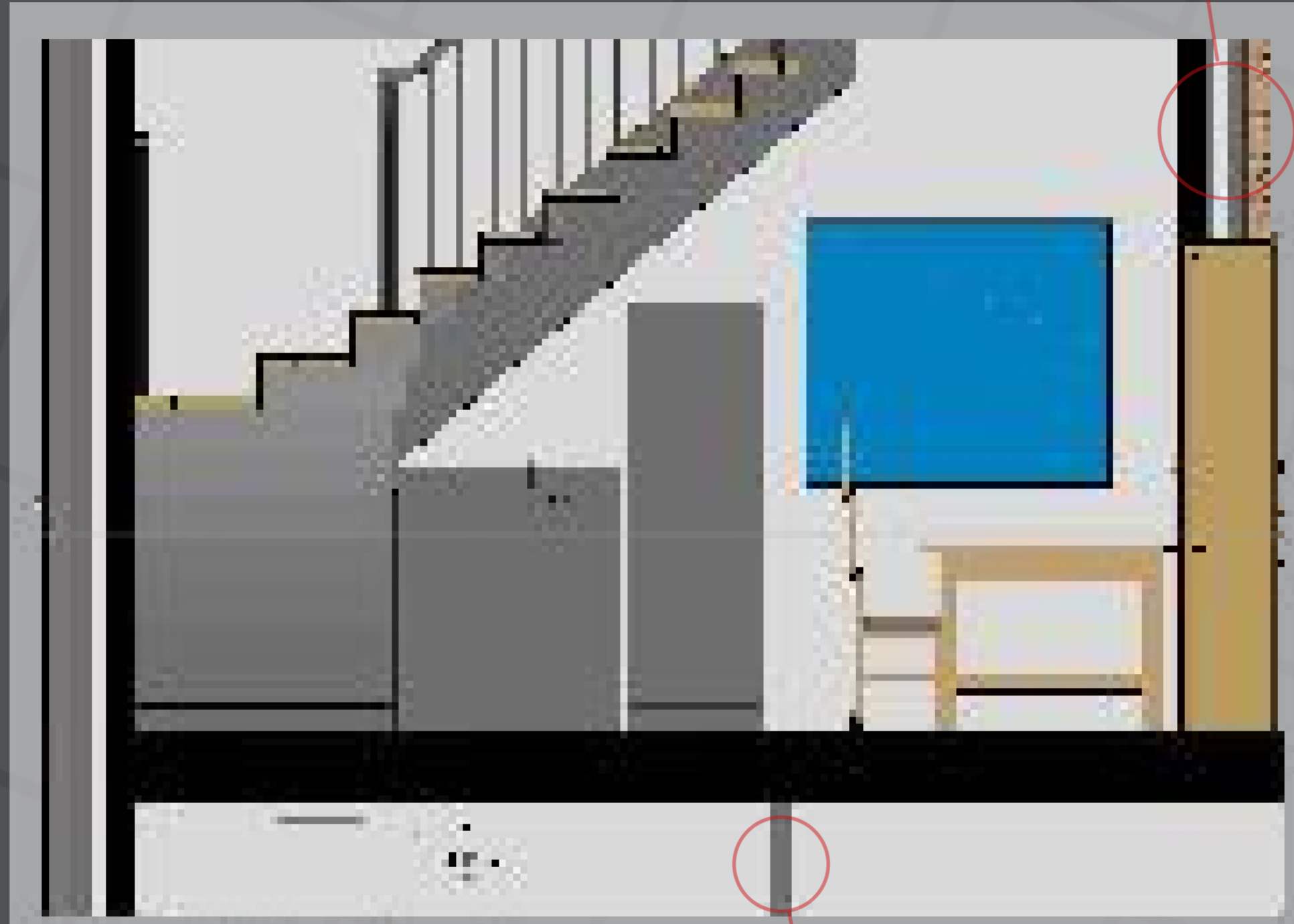


**EXTERIOR WALL,
FACING INWARD IN
THE PROPERTY:**
TIMBER CLADDING,
INSULATION,
CAVITY SPACE,
VAPOUR BARRIER,
TIMBER CORE,
GYPSUM PLASTER
CLADDING



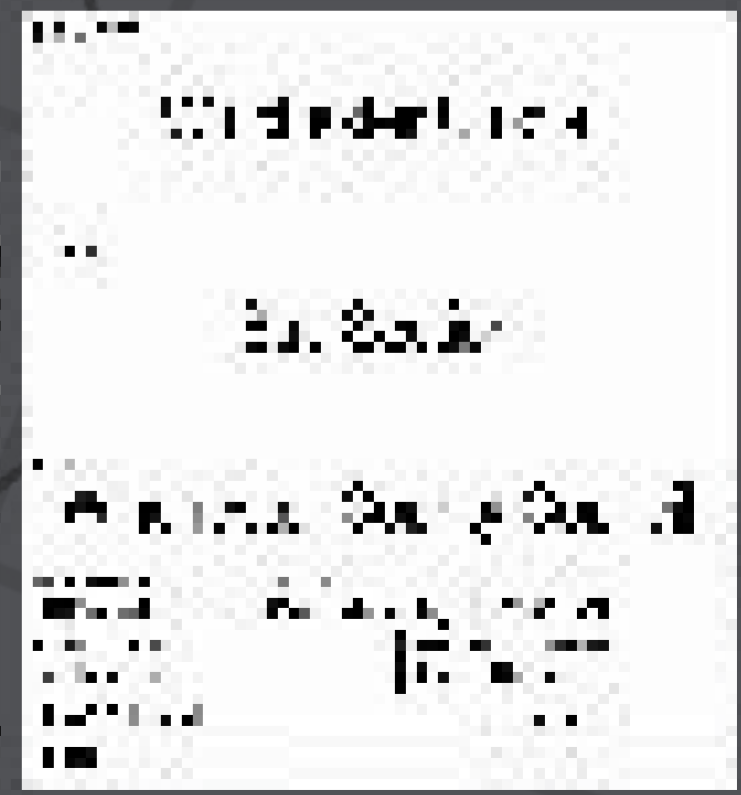
2 Detail Section

**EXTERIOR WALL,
FACING OUTWARD OF
THE PROPERTY:**
FLINT CLADDING,
INSULATION,
VAPOUR BARRIER,
CAVITY SPACE,
TIMBER CORE,
GYPSUM PLASTER
CLADDING



3 Bay Section Copy 1

INTERIOR WALL:
GYPSUM PLASTER,
CAVITY SPACE,
TIMBER CORE,
GYPSUM CLADDING



1 Bay Section

ENVIRONMENTAL SUSTAINABILITY SECTION



SUSTAINABLE SOLUTIONS & MATERIALS:

MATERIALS:

I WILL BE USING LOCALLY SOURCED & HISTORICALLY RELEVANT MATERIALS SUCH AS FLINT, TIMBER AND SLATE, WHICH I WILL USE AS CLADDING, OVER A TIMBER FRAME CONSTRUCTION. I WILL BE UTILISING A CONCRETE GROUND, WHILST USING TIMBER FLOORING FOR THE SUSPENDED FLOORS.

SUSTAINABLE SOLUTIONS:

I WILL ALSO BE INTEGRATING GREEN WALLS IN CERTAIN PARTS OF THE BUILDING'S INWARD-FACING EXTERIOR WALLS IN ORDER TO CREATE A COOLER ATMOSPHERE AND PROVIDE A MORE NATURAL FEELING. THE CLOSELY SITUATED RIVER, NEXT TO MY BUILDING WILL ALSO AID IN COOLING THE AIR AROUND MY BUILDING, AS WELL AS PROVIDE A MORE CALMING, SERENE ATMOSPHERE.

ENVIRONMENTAL STRATEGIES:

ACTIVE STRATEGIES:

RENEWABLE ENERGY SOLUTIONS WILL BE INCORPORATED WITHIN THE BUILDING SUCH AS SOLAR PANELING COVERING VARIOUS PITCHED ROOFS, PROVIDING SUPPLEMENTARY ENERGY FOR THE BUILDING. I WILL ALSO BE INCORPORATING GROUND SOURCE HEAT PUMPS FOR MORE SUSTAINABLE HEATING THROUGHOUT THE BUILDING.

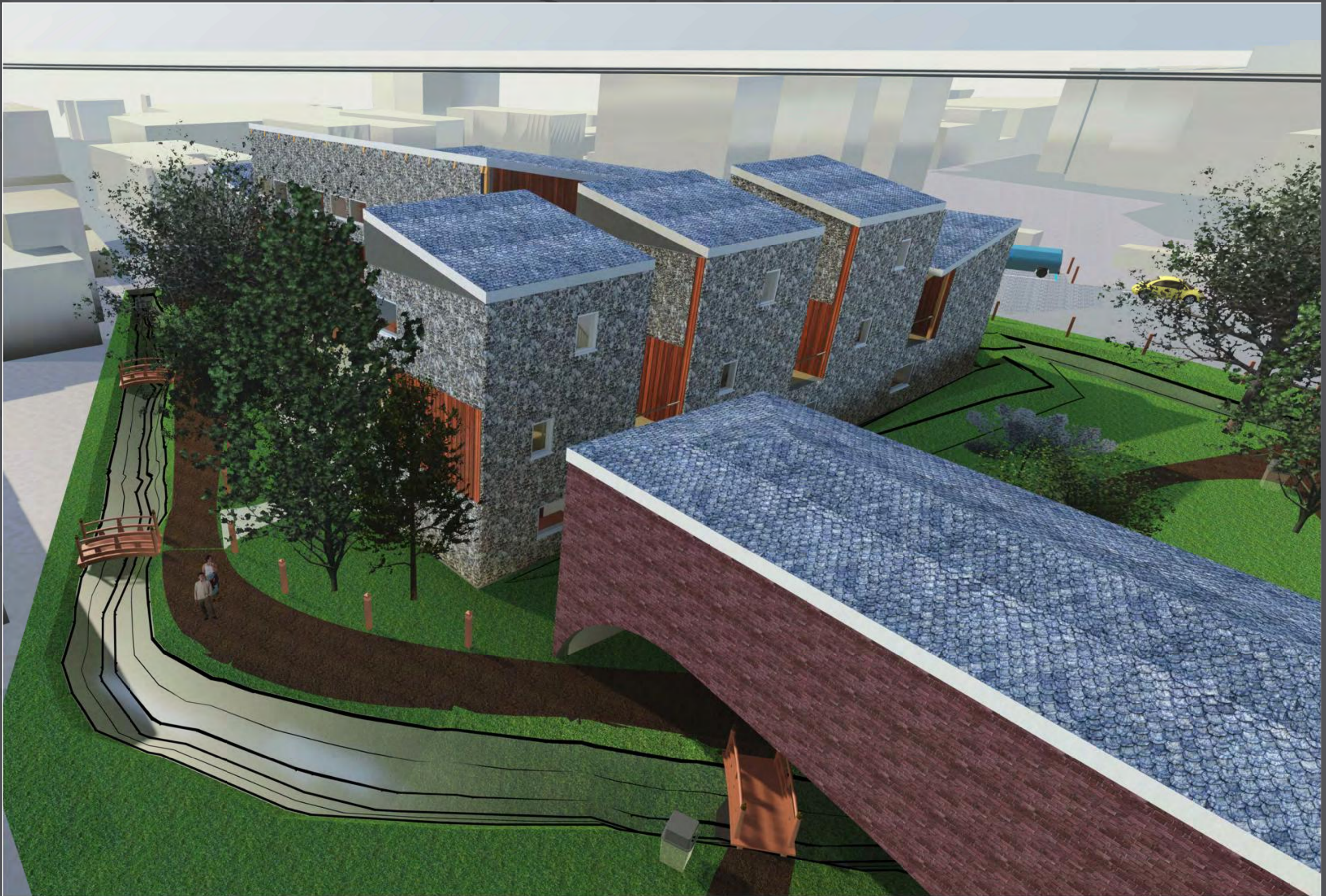
PASSIVE STRATEGIES:

EACH DWELLING HAS 2 OPENINGS PROVIDING THE OPPORTUNITY FOR PASSIVE VENTILATION TO BE INCORPORATED FOR EACH RESIDENT. THERE WILL ALSO BE INSULATION FOR EVERY EXTERIOR WALL AS WELL AS SOUND INSULATION BETWEEN ROOMS AND FLOORS. THE BUILDING AND WINDOWS WILL BE ORIENTATED SO THAT ALL ROOMS HAVE ACCESS TO NATURAL LIGHTING. I WILL ALSO BE INCORPORATING RAINWATER COLLECTION IN THE FORM OF HARVESTING SYSTEMS ON THE PROPERTY. THE HARVESTED WATER WILL BE USED FOR LANDSCAPE IRRIGATION AND OTHER GENERAL USES.







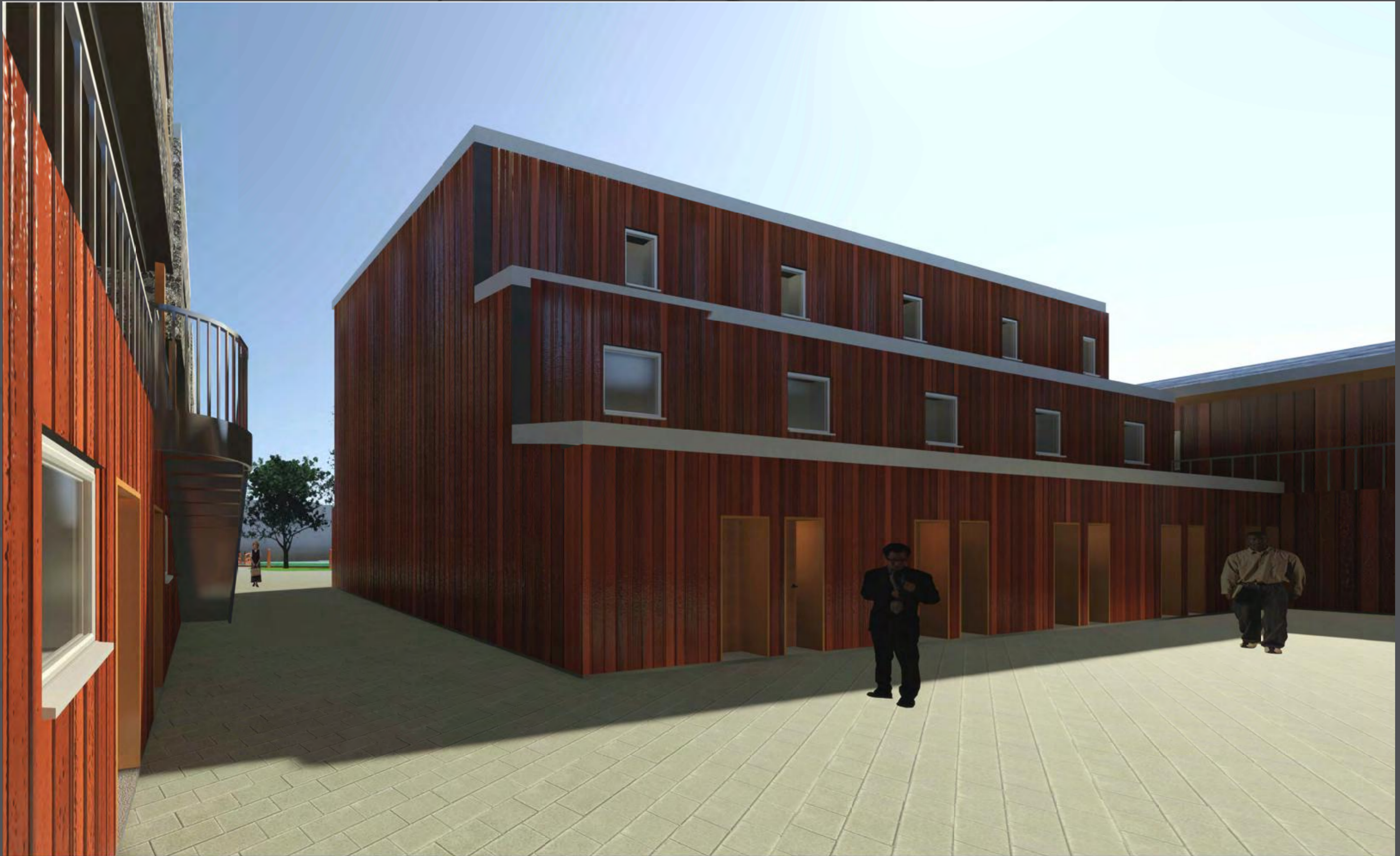






ROOM TYPE A

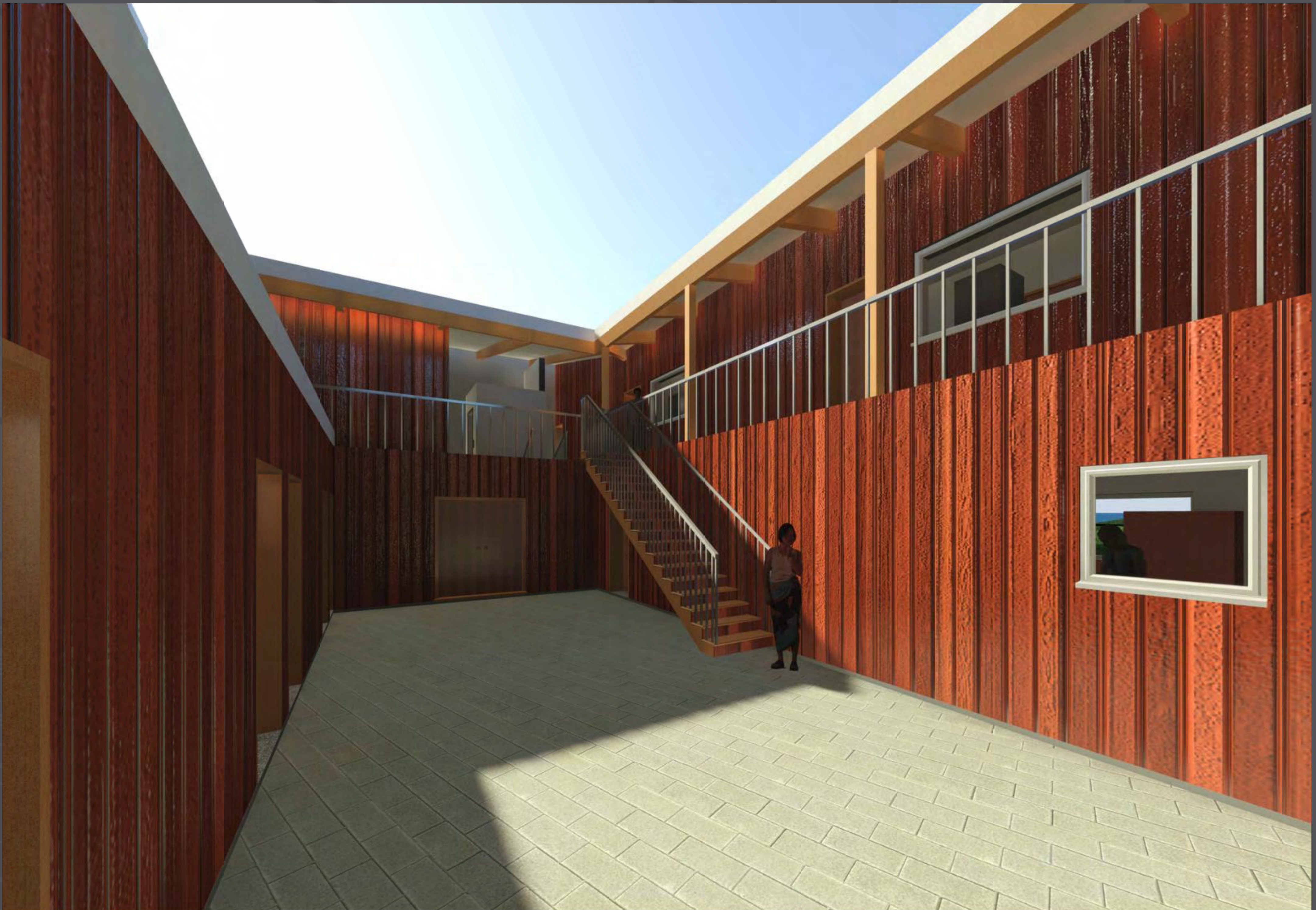




ROOM TYPE B

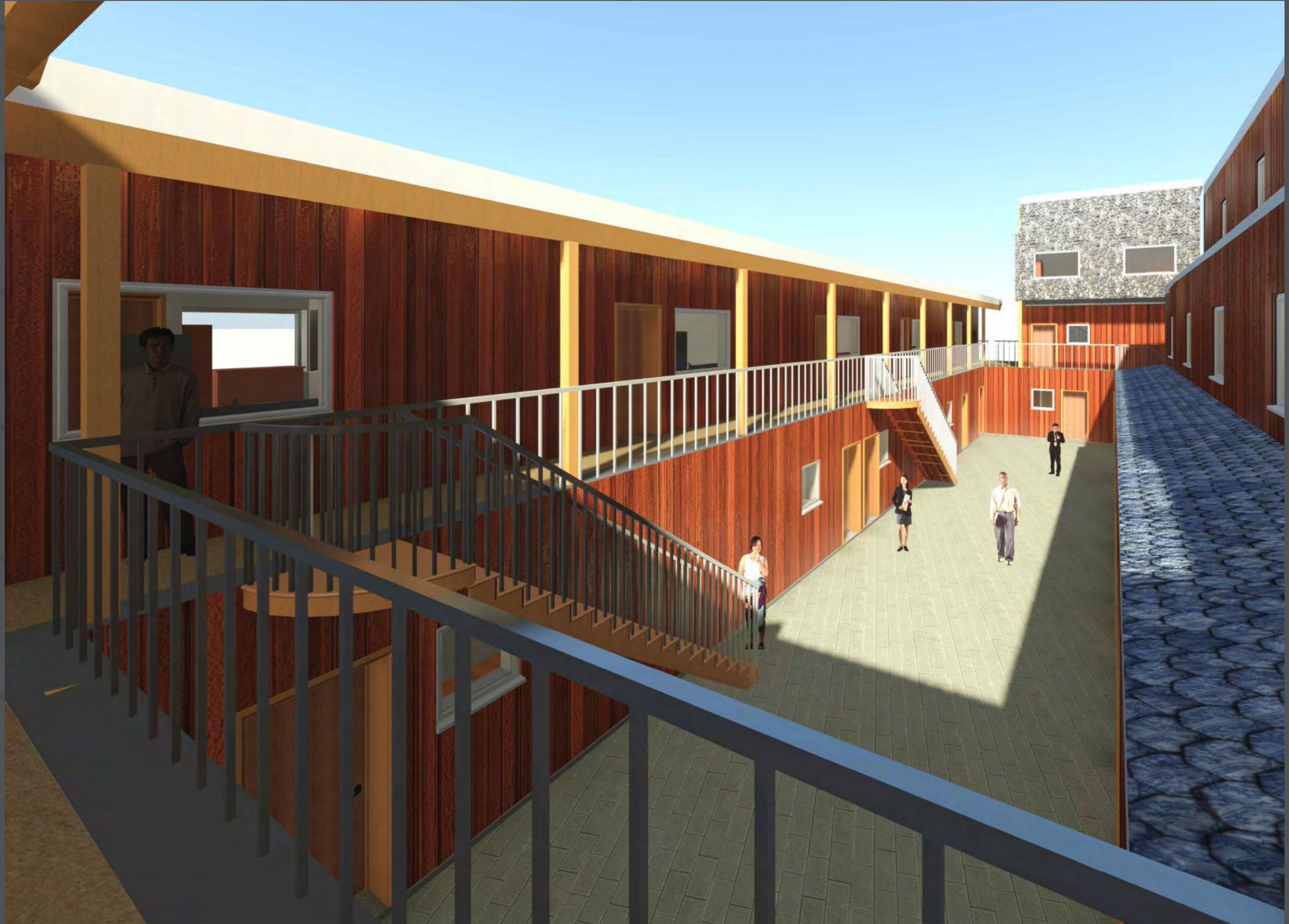


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ROOM TYPE C







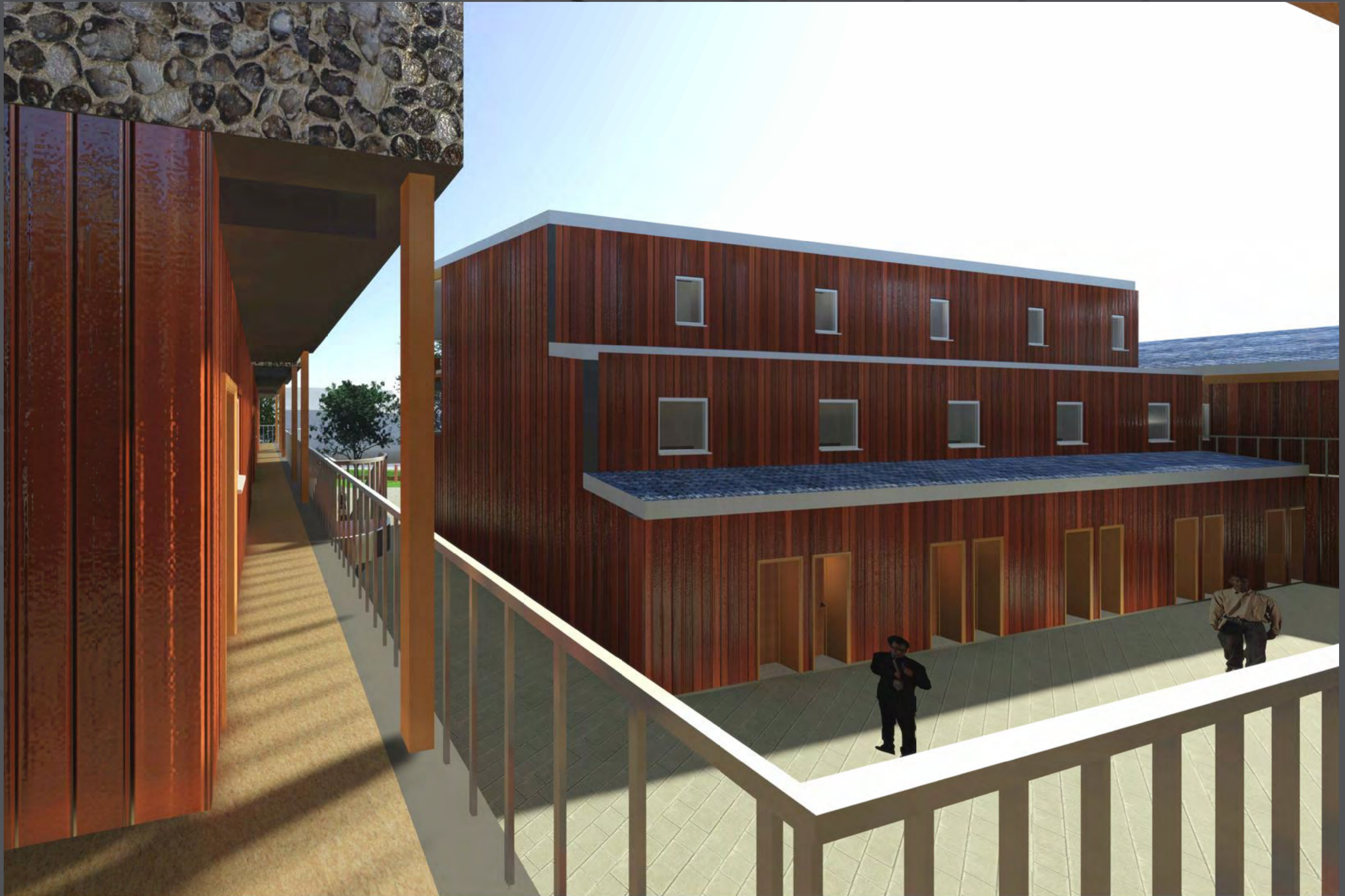
**ROOM TYPE F
BOTTOM**



UP2068014

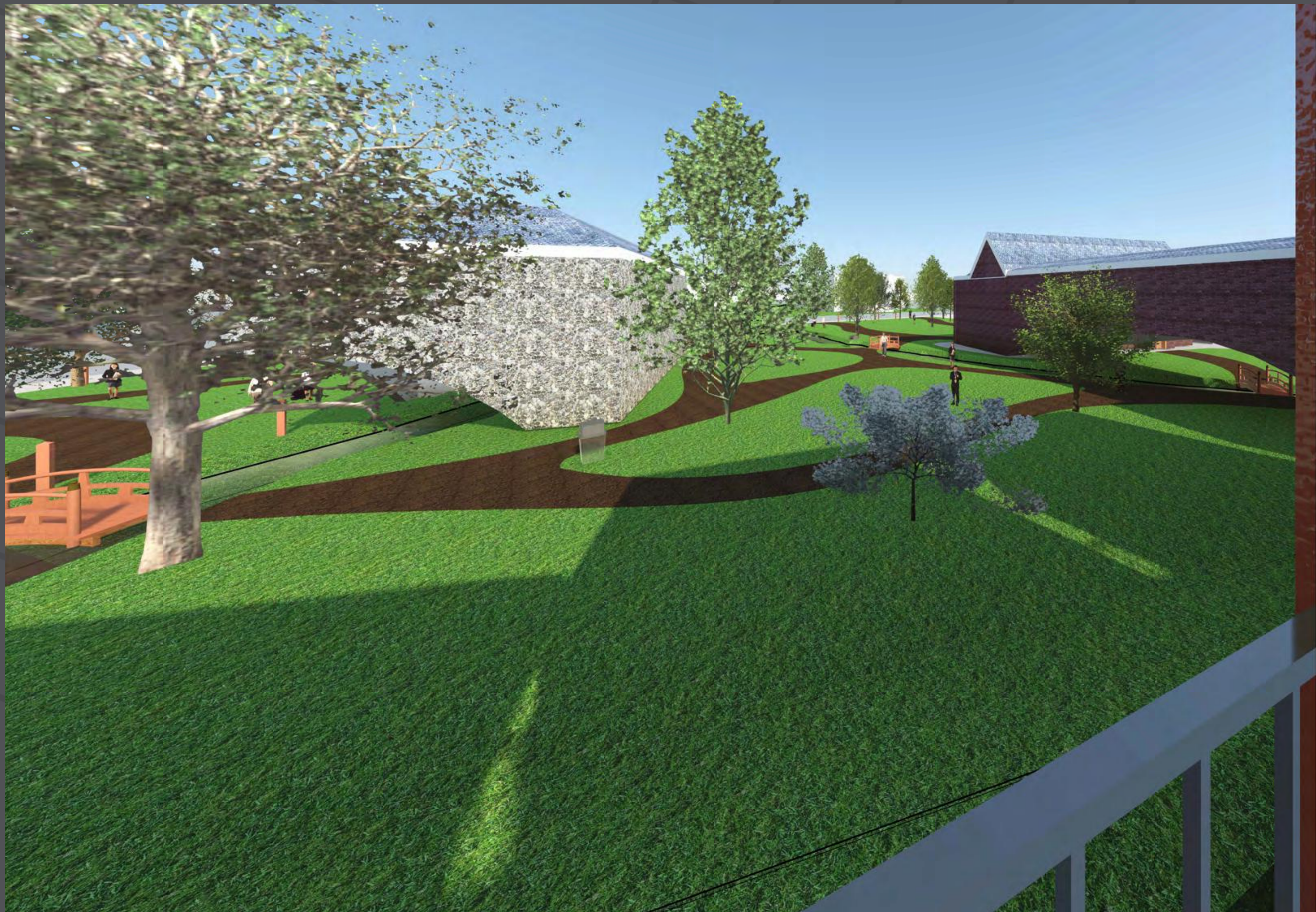


**ROOM TYPE F
TOP**



ROOM TYPE E







**ROOM TYPE H
TOP**

**ROOM TYPE H
BOTTOM**



